

PROPOSED RENOVATION & DORMER ADDITION

298 LOWELL STREET

SOMERVILLE, MASSACHUSETTS 02145

BUILDING CODE ANALYSIS:

780 CMR 9th Edition - 2015 ICC with MA amendments

Use Group: R-3 (*no change*)
Construction Type: V

IEBC:

Proposed work is a Level 2 Alteration
801.3 All new construction elements, components, systems, and spaces shall comply with the requirements of the IBC.
811.1 Level 2 alterations to existing buildings or structures are permitted without requiring the entire or structure to comply with the energy requirements of the IECC or IRC. The alterations shall conform to the energy requirements of the IECC or IRC as they relate to new construction only.

IECC:

R501.1.1 Additions, alterations, or repairs to an existing building, building system or portion thereof shall comply with section R502, R503 or R504. Unaltered portions of the existing building or building supply system shall not be required to comply with this code.
Insulation and fenestration requirements by component:
-Climate zone 5
-Fenestration U-factor: .30
-Skylight U-factor: .55
-Ceiling R-value: 49 (See R402.2.2 for ceilings without attic spaces, R-30 min)
-Wood frame wall R-value: 20 or 13+5ci
-Mass wall R-value: 13/17
-Floor R-value: 30 (Or fill framing cavity, R-19 min)
-Basement wall R-value: 15/19
-Slab R-value & depth: 10, 4
-Crawl space wall R-value: 15/19

IRC:

R310.1 Basements, habitable attics, and every sleeping room shall have not less than one operable emergency escape and rescue opening.
R311.1 Dwellings shall be provided with a means of egress in accordance with section R311.
R313.2 An automatic residential fire sprinkler system shall not be required for additions or alterations to existing buildings that are not already provided with an automatic residential sprinkler system.

ZONING ANALYSIS:

District: RA

Minimum Lot Size: 10,000 SF
Existing Lot Size: 5,705 SF (*non-conforming*)

Minimum Lot Area/unit: 2,250 SF (*conforming*)

Maximum Ground Coverage: 50%
Proposed Ground Coverage: 31% (*conforming*)

Minimum Landscaped Area: 25%
Proposed Landscaped Area: 39% (*conforming*)

Maximum Allowable FAR: 0.75
Existing FAR: 0.31 (*conforming*)
Proposed FAR: 0.39 (*conforming*)

Existing Gross Square Footage: 1,805 SF
Proposed Gross Square Footage: 2,356 SF

Maximum Height: 2 1/2 Stories, 35'
Existing Height: 2 1/2 Stories, 27'-3" (*conforming*)
Proposed Height: 2 1/2 Stories, 32'-5" (*conforming*)

Setbacks:

Front: 15' (10' as relief for stairs <36" above grade) (*existing non-conforming, proposed no change*)
Side: 8' (17' cumulative) (*existing non-conforming, proposed non-conforming*)
Rear: 20' (*existing & proposed conforming*)

Minimum Frontage: 50'
Existing Frontage: 50' (*conforming*)
Proposed Frontage: 50' (*no change*)

Minimum Pervious Area: 35%
Existing Pervious Area: 39% (*conforming*)
Proposed Pervious Area: 39% (*conforming*)

GENERAL NOTES:

Comply with applicable codes, regulations, ordinances and requirements of authorities having jurisdiction, including accessibility guidelines where applicable. Submit copies of inspection reports, notices and similar documents to architect. Plans are based on Massachusetts Building Code 9th Edition.

The contractor, subcontractors, and material suppliers shall refer to the drawings, schedules and specifications as a whole when determining the construction requirements for the project.

The contractor is responsible for identifying all areas on the project which require tolerances between rough openings and/or finish materials and provide for the proper tolerances to complete the construction in accordance with the requirements of the contract documents.

All drawings, schedules and specifications in the bid package are to be considered equal parts of this contract package. The contractor and subcontractors shall be responsible for the review and coordination of all drawings, schedules and specifications. All discrepancies omissions or errors that occur shall be brought to the attention of the architect in writing prior to the submission of bids so that clarification may be issued.

Drawings and specifications are intended to provide the basis for the proper completion of the project suitable for the intended use of the owner. Items not expressly set forth but which are reasonably implied or necessary for the proper performance of this work shall be included.

Any work performed in conflict with any part of the contract documents or any code requirement shall be corrected by the contractor at their own expense and at no expense to the owner or architect.

The contractor shall notify the architect when, in the course of construction or demolition, conditions are uncovered which are unanticipated or otherwise appear to present a dangerous condition.

The contractor and subcontractors shall be responsible for coordination of their work with the work of other trades. Subcontractors shall verify that any work related to them, which must be provided by others has been completed and is adequate prior to commencing their work.

All dimensions shall take precedence over scale shown on plans, sections and details. Dimensions are to face of finish unless otherwise noted on drawings. Do not scale drawings. Notify the architect/engineer of any discrepancies and do not proceed without instructions/clarification.

The contractor shall verify all conditions and dimensions and report any discrepancies to the architect/engineer.

Verify all site conditions prior to commencing construction.

The contractor shall be solely responsible for job site safety of its employees and other persons in the construction area, as well as for the protection of the safety of the improvements being erected and the property of the contractor and/or other persons, as a result of operations hereunder.

The contractor shall be fully and completely liable at his own expense for design, construction, installation and use or non-use of all items and methods incident to performance of either person or property, including without limitation the adequacy of all temporary supports, shoring, bracing, scaffolding, machinery or equipment, safety precautions or devices, and similar items or devices used during construction.

The contractor shall furnish all materials, labor, and equipment necessary to properly complete the work, including items not specifically set forth in the construction documents.

The contractor shall coordinate all work with the owner or with the owner's representative.

The contractor shall obtain and be responsible for all fees, permits, and inspections required and associated with all phases of the work.

All items to be removed shall become property of the contractor and shall be removed entirely from the project site, unless noted otherwise. Return items identified for salvage or reuse to the owner/property manager.

The drawings are not intended for use as shop or erection drawings. Provide shop drawings when appropriate.

Contractor to phase all work such that the occupied portions of the building are safe & available throughout construction.

Contractor to provide temporary barriers at all floor penetrations to prevent physical bodily damage.

Contractor to provide a clean job site free from debris throughout construction at all floors.

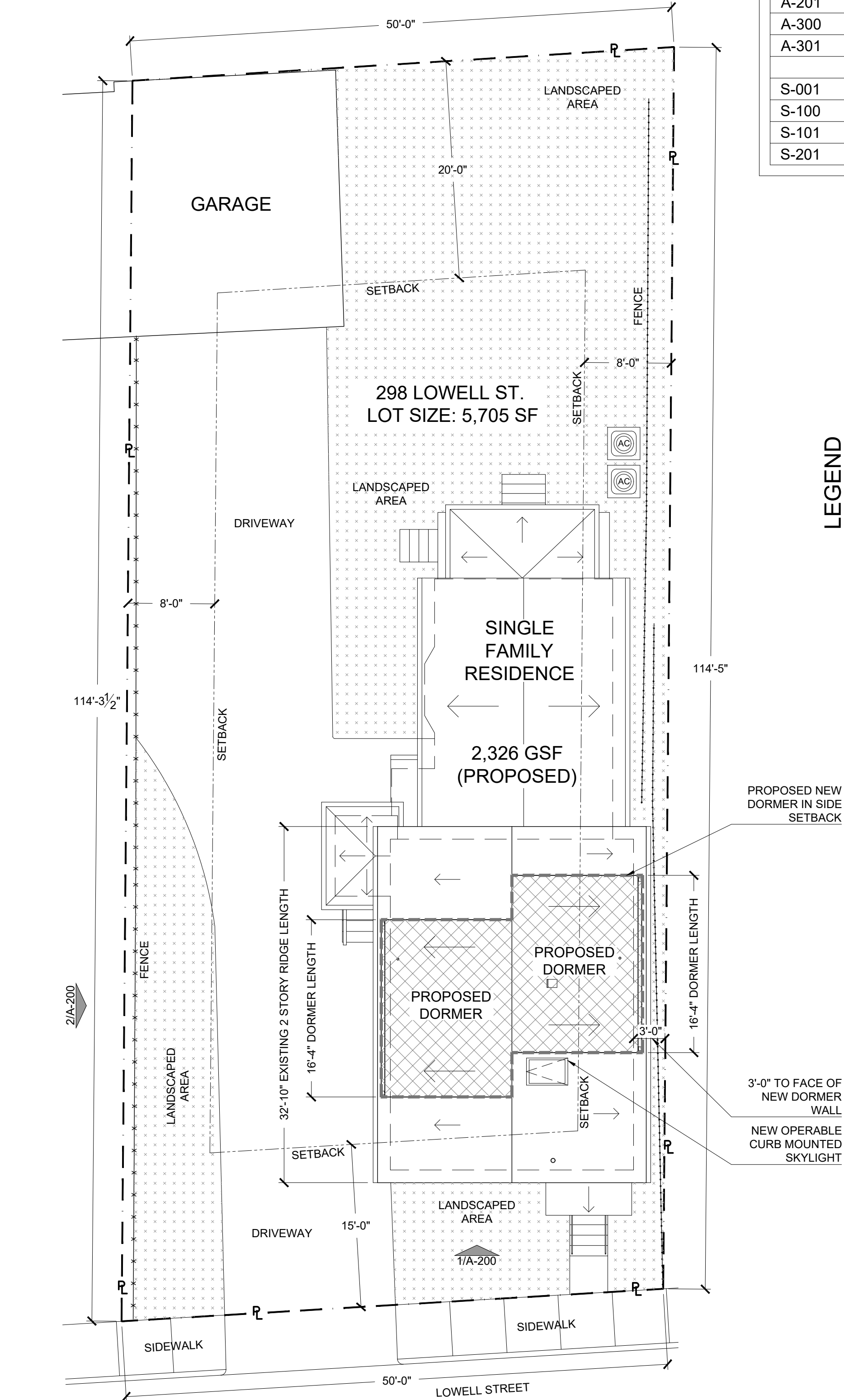
Verify staging area, parking availability, and rules for use with property owner.

Maintain proper emergency egress and systems throughout demolition and renovation.

Patch all finishes to match existing adjacent at all demolished or altered building components unless otherwise noted.

Plumbing, electrical, mechanical, audio/visual, & fire alarm systems to be design/build by contractor. If shown, components of these systems are diagrammatic & provided for planning purposes only. See drawings provided by appropriate subcontractor &/or licensed engineer.

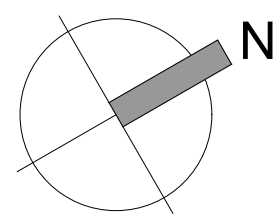
See structural drawings for all structural details & specifications.



1
T-100

PROPOSED SITE PLAN

1/8" = 1'-0"



DRAWING LIST

SHEET	TITLE	DATE
1 OF 1	CERTIFIED PLOT PLAN	06.06.2019
ARCHITECTURAL		
T-100	TITLE SHEET & GENERAL NOTES	07.19.2019
EX-100	EXISTING PLANS	07.19.2019
EX-200	EXISTING EXTERIOR ELEVATIONS	07.19.2019
EX-201	EXISTING EXTERIOR ELEVATIONS	07.19.2019
D-100	BASEMENT & FIRST FLOOR DEMO PLAN	07.19.2019
D-101	SECOND & THIRD FLOOR DEMO PLAN	07.19.2019
A-100	PROPOSED BASEMENT & FIRST FLOOR PLAN	07.19.2019
A-101	PROPOSED SECOND & THIRD FLOOR PLAN	07.19.2019
A-102	PROPOSED ROOF PLAN	07.19.2019
A-110	PROPOSED SECOND & THIRD FLOOR RC PLAN	07.19.2019
A-200	PROPOSED EXTERIOR ELEVATIONS	07.19.2019
A-201	PROPOSED EXTERIOR ELEVATIONS	07.19.2019
A-300	PROPOSED DORMER SECTIONS	07.19.2019
A-301	PROPOSED BATHROOM ELEVATIONS	07.19.2019
STRUCTURAL		
S-001	GENERAL NOTES	05.30.2019
S-100	FRAMING PLANS	05.30.2019
S-101	FRAMING PLANS	05.30.2019
S-201	TYPICAL DETAILS & SECTIONS	05.30.2019

LEGEND

	NEW GWB PARTITION
	NEW GWB KNEE WALL
	PARTITION/COMPONENT TO BE DEMOLISHED
	ELECTRICAL SWITCH
	3-WAY ELECTRICAL SWITCH
	TIMER SWITCH
	PLUNGER / JAMB SWITCH
	DATA JACK
	DUPLEX OUTLET
	QUADPLEX OUTLET
	COAXIAL CABLE JACK
	THERMOSTAT
	ELECTRICAL CIRCUIT
	RECESSED CEILING LIGHT FIXTURE
	RECESSED CEILING WET LOCATION LIGHT FIXTURE
	CEILING MOUNTED PENDANT LIGHT FIXTURE
	SURFACE MOUNTED WALL SCONCE
	SURFACE MOUNTED CEILING LIGHT FIXTURE
	EXTERIOR WALL MOUNT LIGHT FIXTURE
	SURFACE MOUNTED CLOSET LIGHT FIXTURE
	UNDER CABINET/SHELF LINEAR LIGHT FIXTURE
	CEILING MOUNTED EXHAUST FAN
	CEILING MOUNTED EXHAUST FAN W/ LIGHT
	SMOKE DETECTOR
	CO DETECTOR

TITLE SHEET, CODE ANALYSIS, & GENERAL NOTES

PROPOSED RENOVATION & DORMER ADDITION

298 LOWELL STREET

SOMERVILLE, MASSACHUSETTS 02145



PROJECT NUMBER: 1828
DRAWING NUMBER:

T-100

SCALE: 1/8"=1'-0"
DATE: 07.19.2019

MAXWELL ARCHITECTS, LLC
PLANNING / PROGRAMMING / DESIGN

Architecture
Space Planning
Project Management
Facility Programming

20 Western Street
Somerville, Massachusetts 02144
(617) 866-8232
(617) 866-4557 FAX

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CERTIFIED PLOT PLAN

LOCATED AT

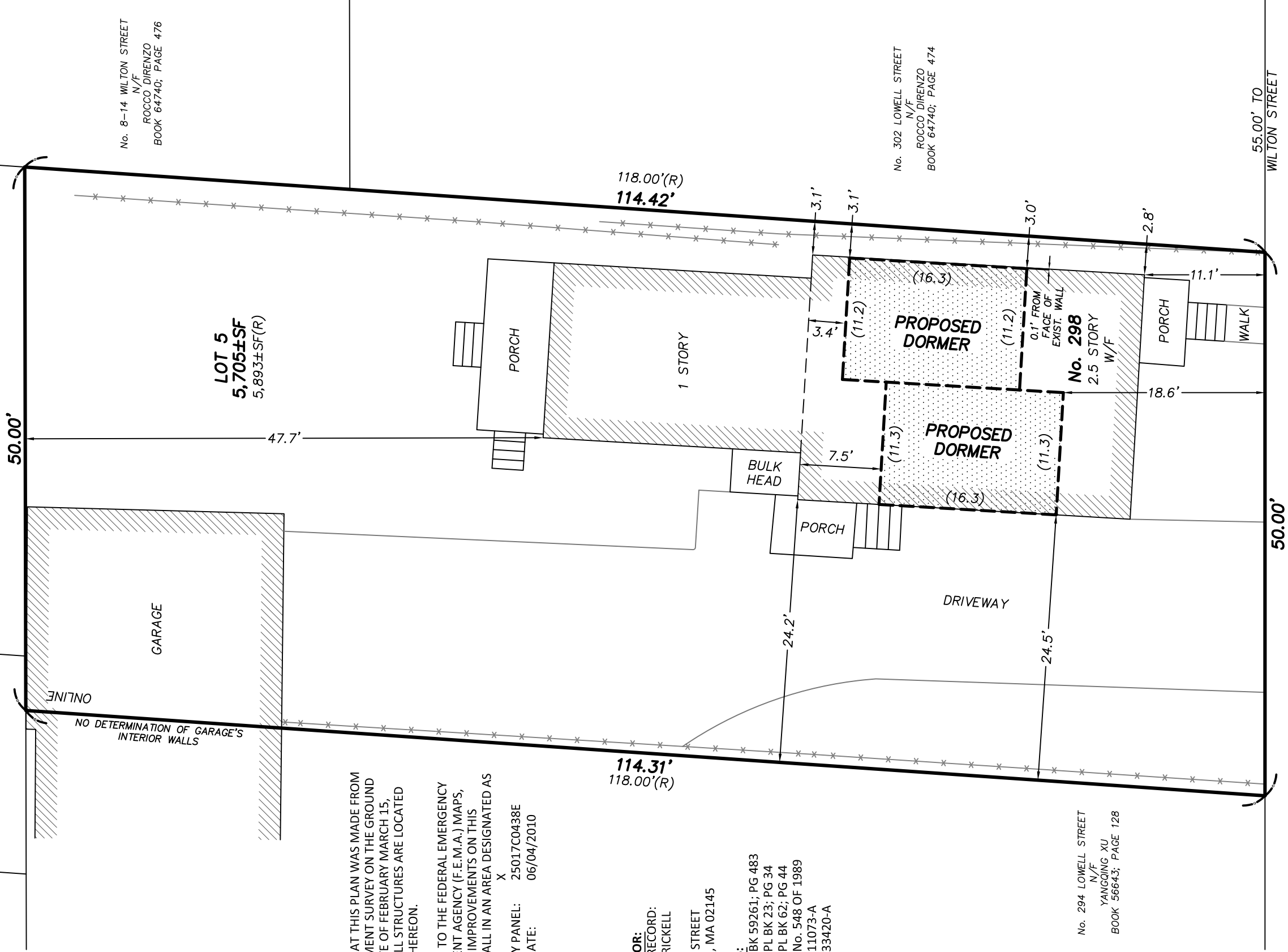
298 LOWELL STREET
SOMERVILLE, MA

DOWNER STREET
(PRIVATE – 20.0' WIDE)

No. 0 DOWNER STREET
N/F
VILMA A. FALSO
BOOK 32252; PAGE 319

BOSTON

SURVEY, INC.
UNIT C-4 SHIPWAY PLACE
CHARLESTOWN, MA 02129
(617) 242-1313

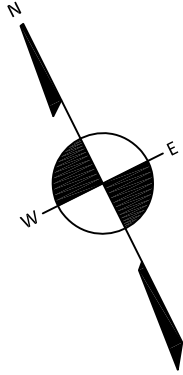


I CERTIFY THAT THIS PLAN WAS MADE FROM
AN INSTRUMENT SURVEY ON THE GROUND
ON THE DATE OF FEBRUARY MARCH 15,
2019 AND ALL STRUCTURES ARE LOCATED
AS SHOWN HEREON.

ACCORDING TO THE FEDERAL EMERGENCY
MANAGEMENT AGENCY (F.E.M.A.) MAPS,
THE MAJOR IMPROVEMENTS ON THIS
PROPERTY FALL IN AN AREA DESIGNATED AS
ZONE:
X
COMMUNITY PANEL: 25017C0438E
EFFECTIVE DATE: 06/04/2010

PREPARED FOR:
OWNER OF RECORD:
CLAIRE M. BRICKELL
ELIE DOLGIN
298 LOWELL STREET
SOMERVILLE, MA 02145

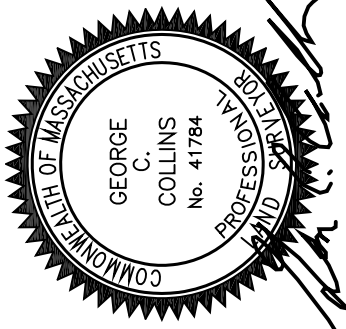
REFERENCES:
DEED: BK 59261; PG 483
PLAN: PL BK 23; PG 34
PL BK 62; PG 44
No. 548 OF 1989
11073-A
33420-A

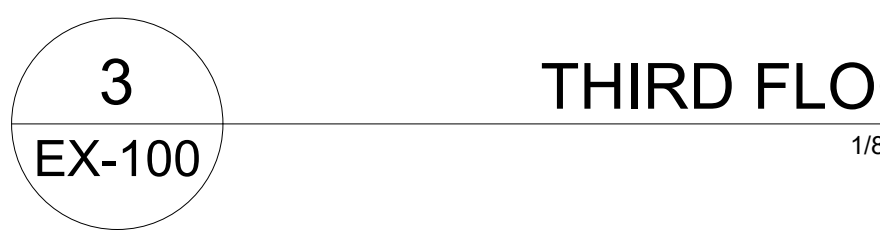
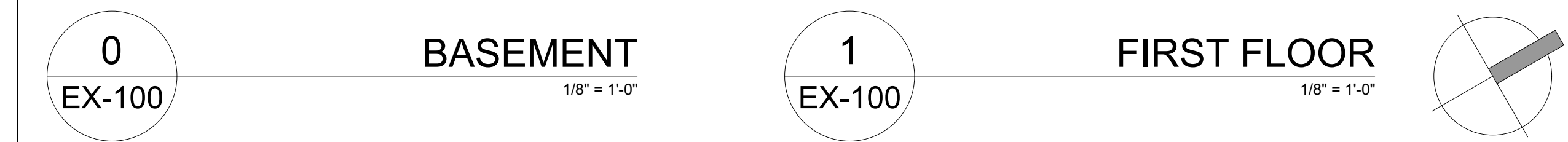


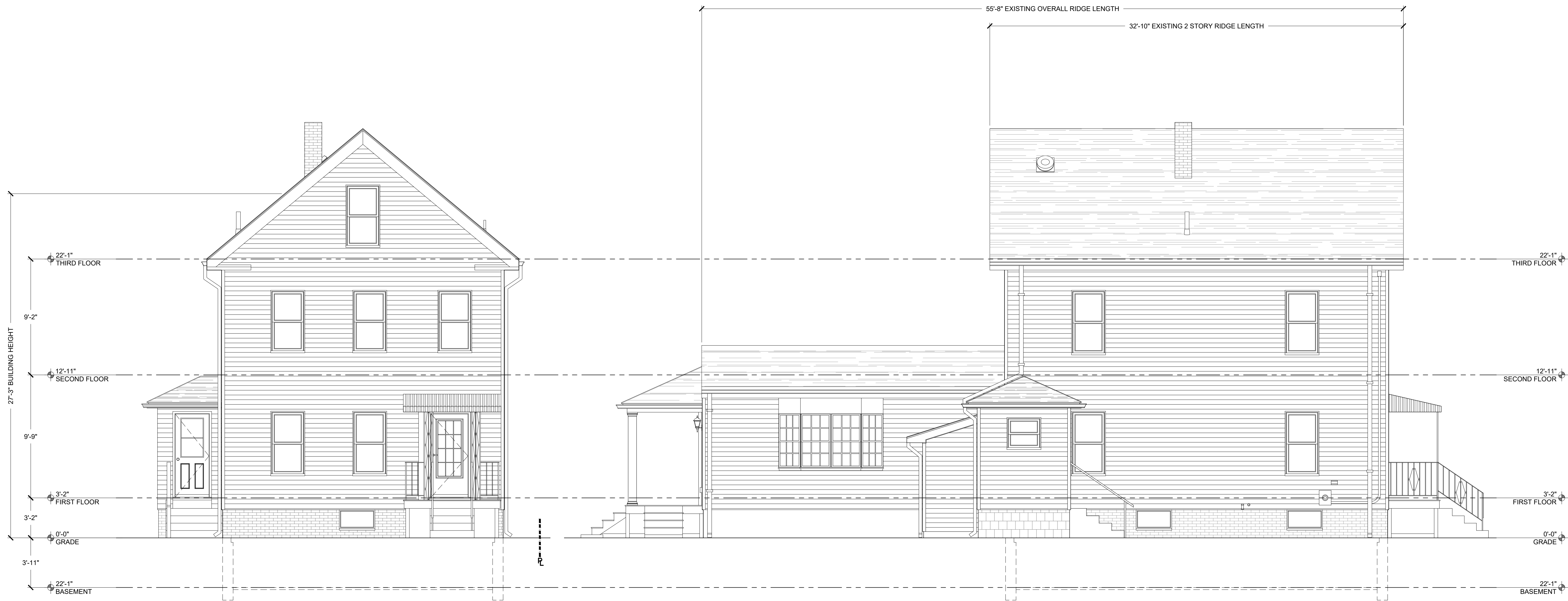
SCALE: 1.0 INCH = 10.0 FEET



FIELD:	MO
DRAFT:	NPP
CHECK:	GCC
DATE:	06/06/19
JOB #	19-00165





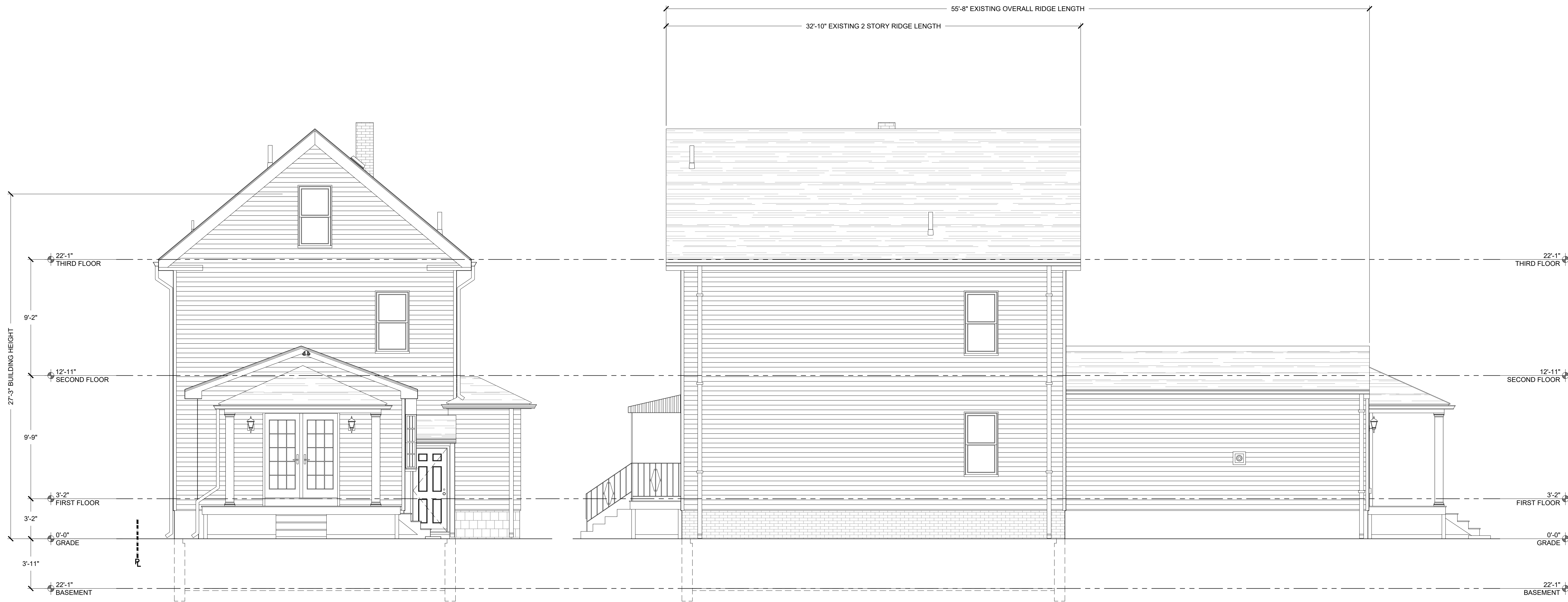


1
EX-200
FRONT ELEVATION
1/4" = 1'-0"

2
EX-200
SIDE ELEVATION
1/4" = 1'-0"

EXISTING ELEVATIONS
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
SOMERVILLE, MASSACHUSETTS 02145

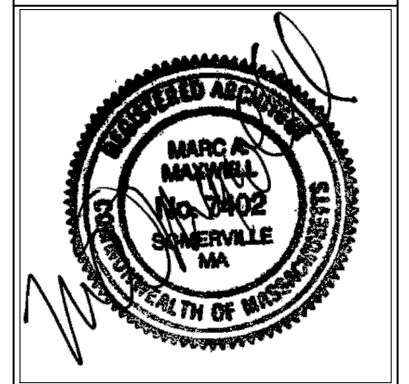




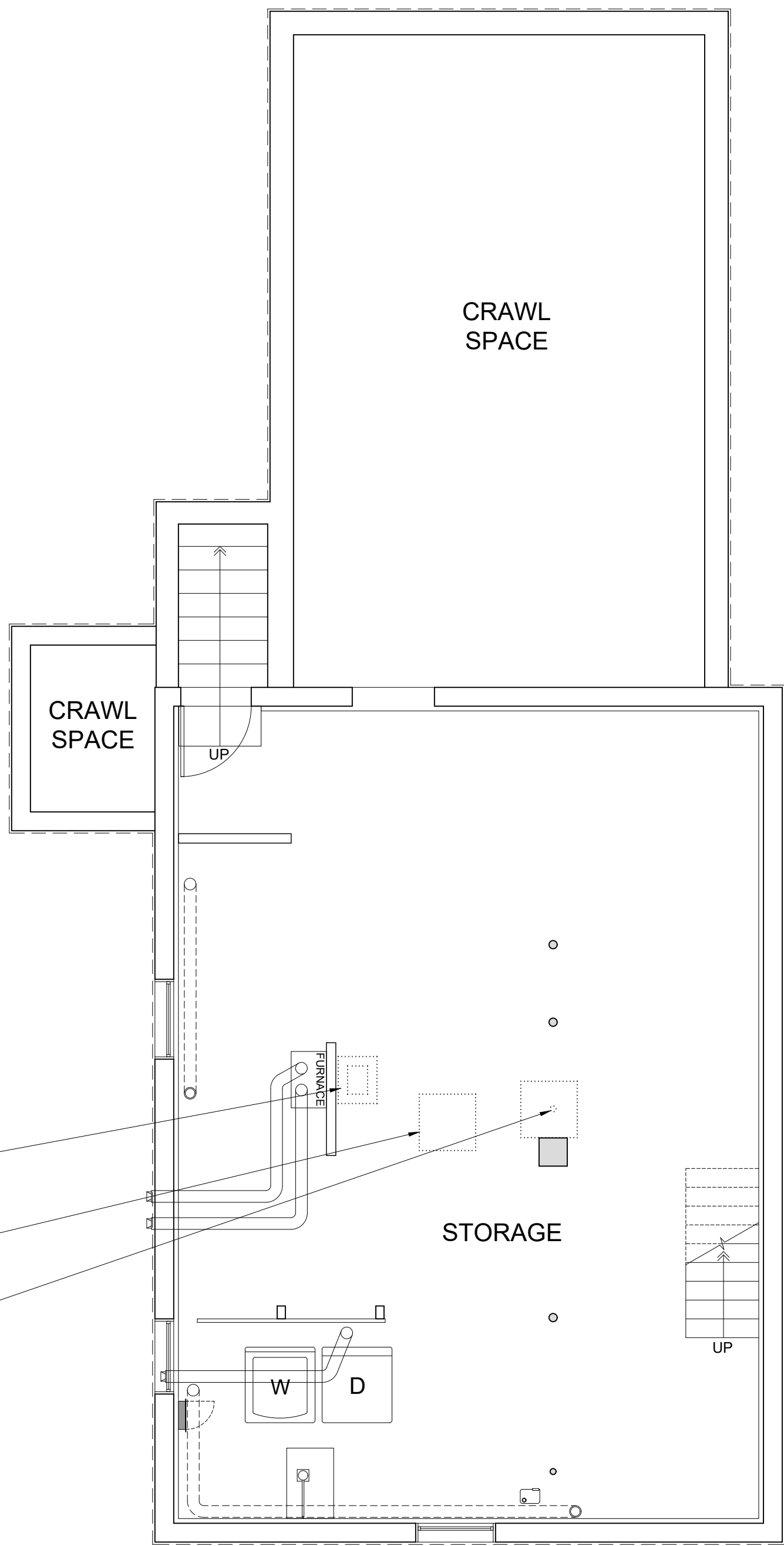
1
EX-201
REAR ELEVATION
1/4" = 1'-0"

2
EX-201
SIDE ELEVATION
1/4" = 1'-0"

EXISTING ELEVATIONS
PROPOSED RENOVATION & DORMER ADDITION
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NOTE:
-PROTECT ALL FINISHES, ADJACENT TO WORK AREA, SCHEDULED TO REMAIN THROUGHOUT ALL PHASES OF WORK.
-SAVE ALL EXISTING DOORS, FRAMES, & TRIM FOR POTENTIAL REUSE. DISPOSE OF ITEMS NOT TO BE REUSED.



DEMO FULL CHIMNEY (BASEMENT - ROOF)
DEMO SLAB IN WAY OF NEW FOOTINGS; SEE STRUCTURAL DRAWINGS
DEMO ADJUSTABLE STEEL COLUMN; SEE STRUCTURAL DRAWINGS

1
D-100

BASEMENT DEMO PLAN
1/4" = 1'-0"

DEMO / OPEN WALLS AS REQUIRED TO CONSTRUCT NEW STRUCTURAL POSTS &/OR LINTELS; SEE STRUCTURAL DRAWINGS

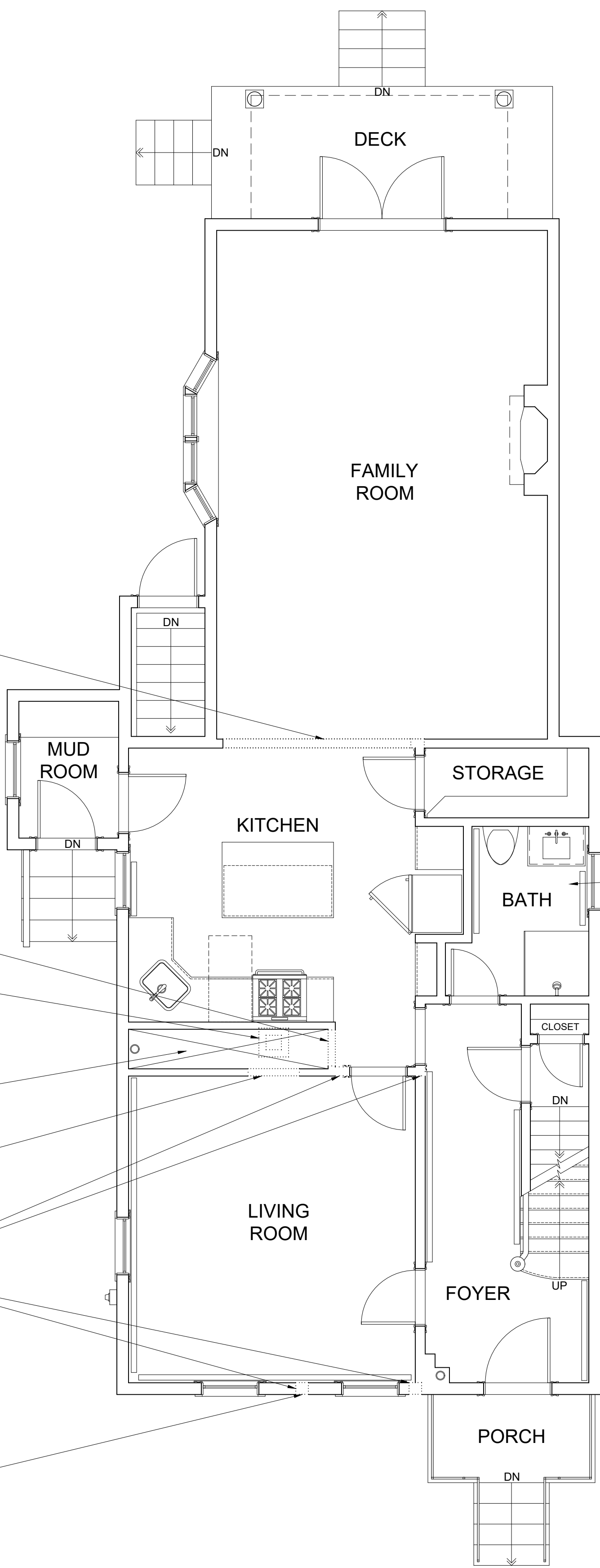
DEMO WALL IN WAY OF NEW BROOM CLOSET
DEMO FULL CHIMNEY (BASEMENT - ROOF)

INVESTIGATE CHASE / REMAINING SPACE DURING CHIMNEY REMOVAL FOR POTENTIAL RECONFIGURATION

DEMO / OPEN LIVING ROOM WALL AS REQUIRED TO DEMO CHIMNEY; ADDITIONAL DEMO MAY BE REQUIRED

DEMO / OPEN WALLS AS REQUIRED TO CONSTRUCT NEW STRUCTURAL POSTS &/OR LINTELS; SEE STRUCTURAL DRAWINGS

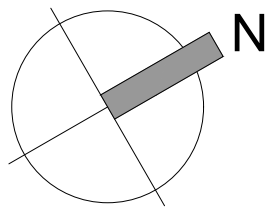
INSTALL STRUCTURAL POSTS FROM EXTERIOR WHERE ABLE & ONLY IF RE-SIDING ENTIRE HOUSE (TYP)



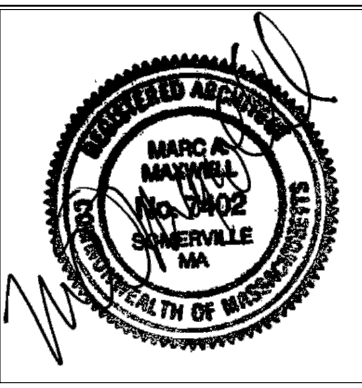
SELECTIVE DEMO IF REQUIRED FOR NEW 3RD FLOOR BATH PLUMBING CONFIGURATION

2
D-100

FIRST FLOOR DEMO PLAN
1/4" = 1'-0"



BASEMENT & FIRST FLOOR DEMO PLAN
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
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NOTE:
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-SAVE ALL EXISTING DOORS, FRAMES, & TRIM FOR POTENTIAL REUSE. DISPOSE OF ITEMS NOT TO BE REUSED.

DEMO WALL TO ACCOMMODATE NEW WINDOWS & STRUCTURAL POSTS (TYP)

DEMO FULL CHIMNEY (BASEMENT - ROOF)

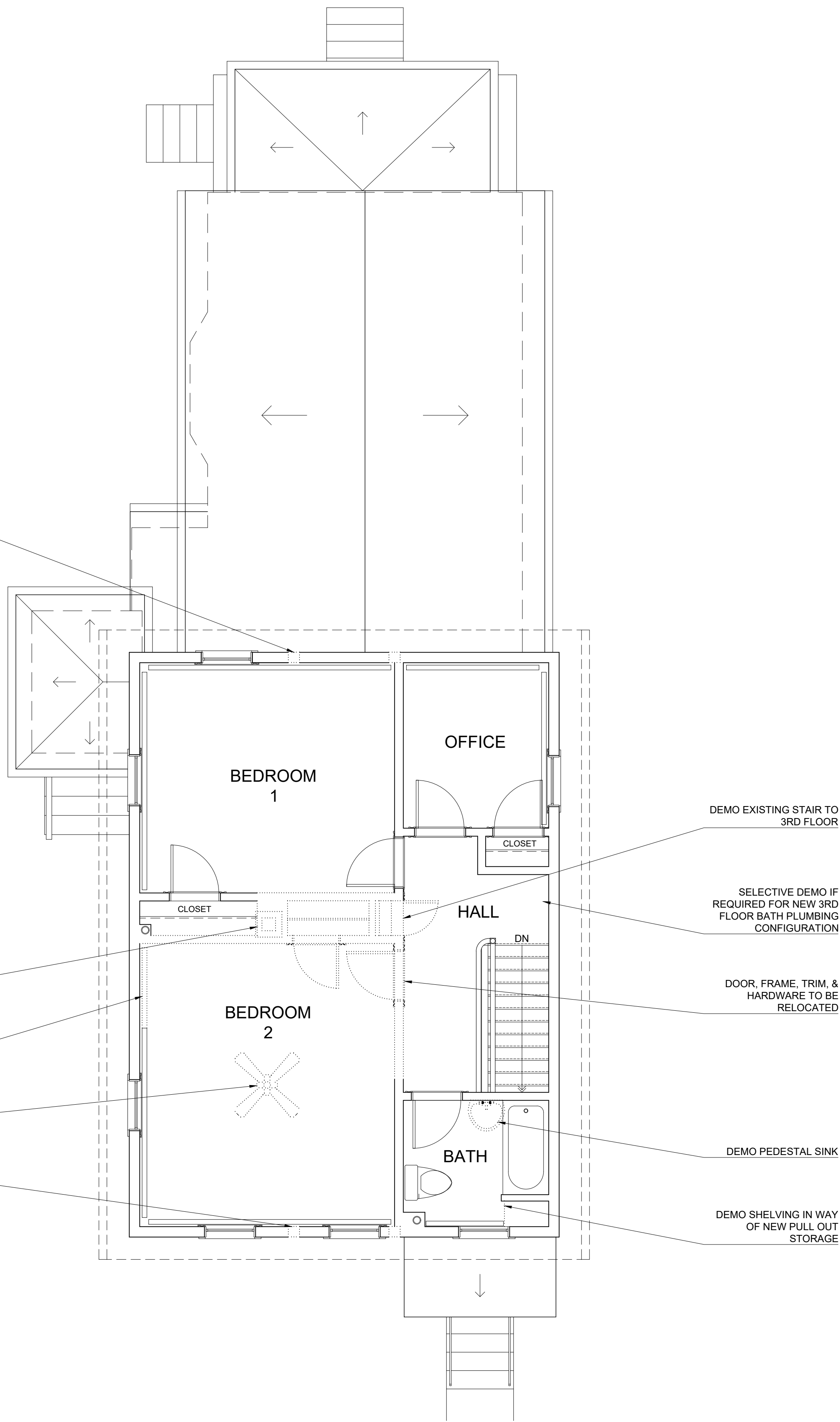
RECONFIGURE RADIATOR AS REQUIRED

CEILING FAN TO BE RELOCATED

DEMO WALL TO ACCOMMODATE NEW WINDOWS & STRUCTURAL POSTS (TYP)

1
D-101

SECOND FLOOR DEMO PLAN
1/4" = 1'-0"



DEMO WALL TO ACCOMMODATE NEW WINDOWS & STRUCTURAL POSTS (TYP)

DEMO ATTIC FAN

RECONFIGURE WASTE STACK AS REQUIRED

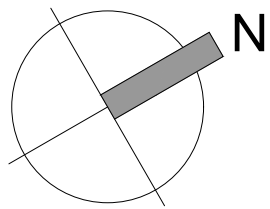
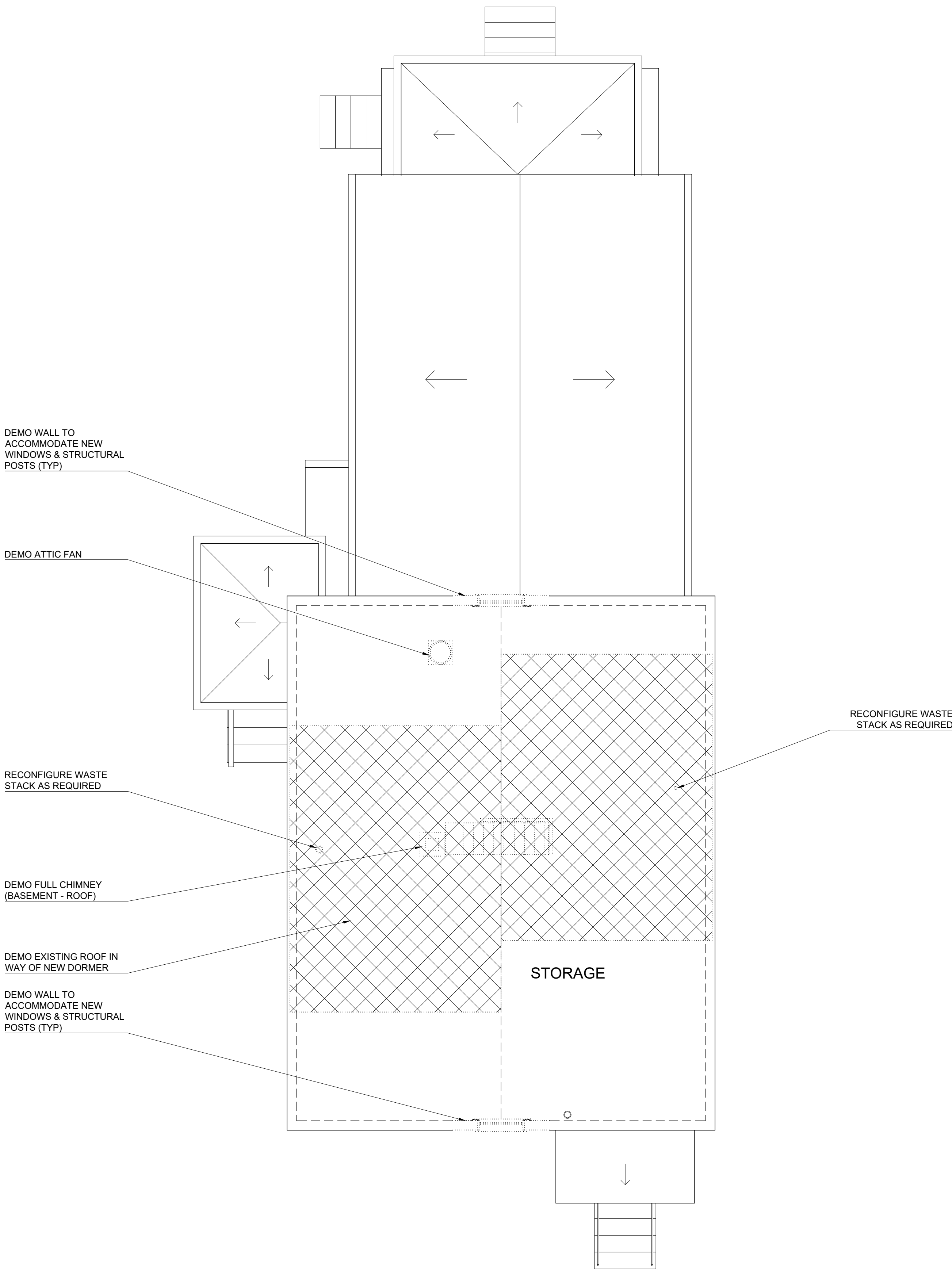
DEMO FULL CHIMNEY (BASEMENT - ROOF)

DEMO EXISTING ROOF IN WAY OF NEW DORMER

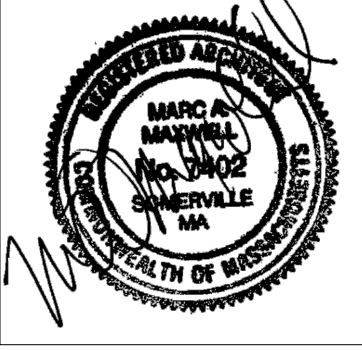
DEMO WALL TO ACCOMMODATE NEW WINDOWS & STRUCTURAL POSTS (TYP)

2
D-101

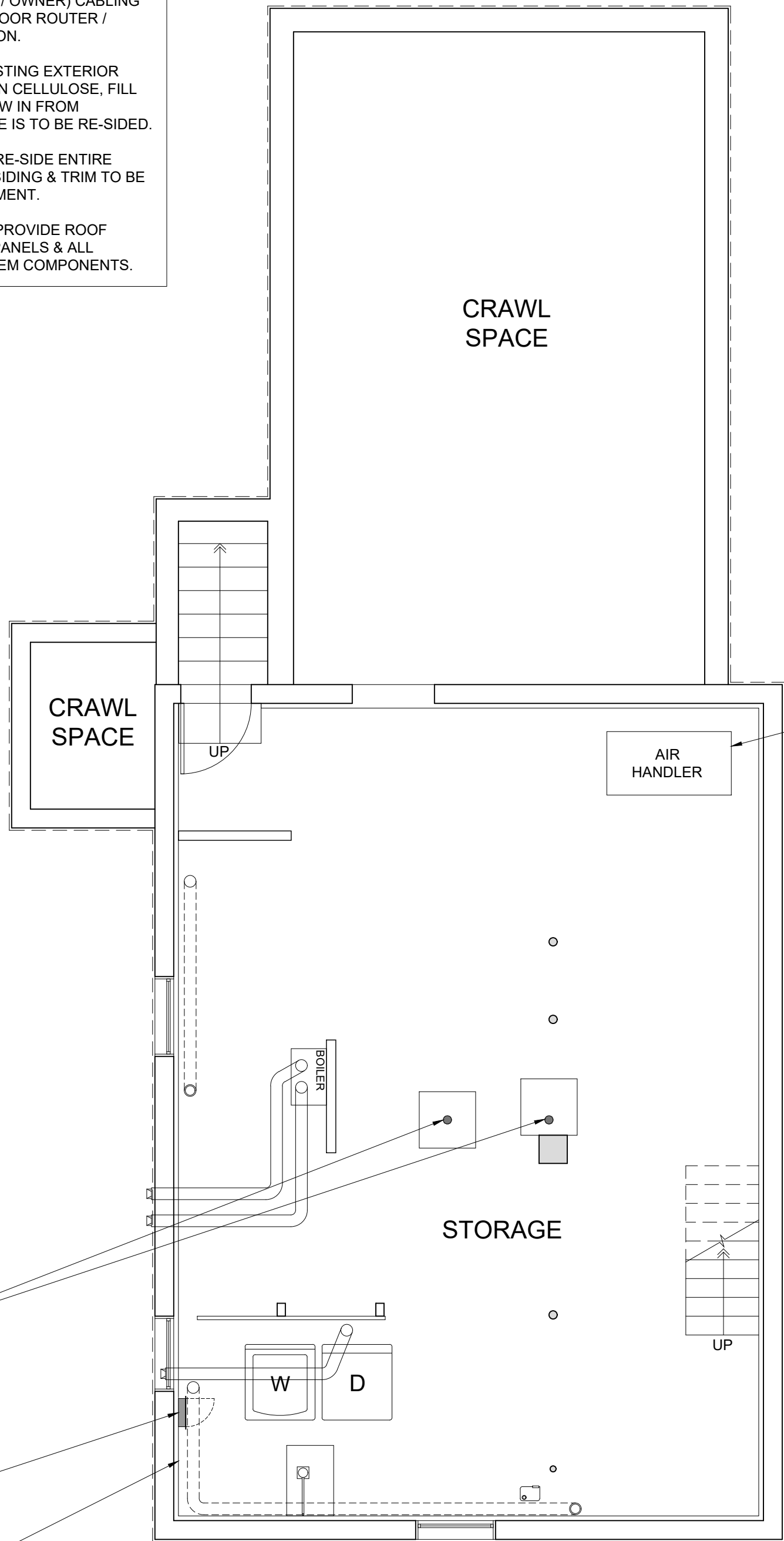
THIRD FLOOR DEMO PLAN
1/4" = 1'-0"



SECOND & THIRD FLOOR DEMO PLAN
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
SOMERVILLE, MASSACHUSETTS 02145



- NOTE:
- PLUMBING, ELECTRICAL, MECHANICAL, & FIRE ALARM SYSTEMS TO BE DESIGN/BUILD BY CONTRACTOR. IF SHOWN, COMPONENTS OF THESE SYSTEMS ARE DIAGRAMMATIC ONLY. SEE DRAWINGS PROVIDED BY APPROPRIATE LICENSED ENGINEER.
 - PROVIDE NEW WHOLE HOUSE AC SYSTEM. ZONE 1: FIRST FLOOR. ZONE 2: SECOND & THIRD FLOORS.
 - CONFIRM SPECIFICATION OF ALL WINDOWS, DOORS, PLUMBING FIXTURES, LIGHT FIXTURES, & FINISHES W/ OWNER PRIOR TO PURCHASE.
 - ALL NEW INTERIOR WOOD DOORS TO BE PAINTED 4-PANEL SOLID CORE; MATCH HISTORIC DOOR PANELING AS PRACTICAL. CONFIRM HARDWARE SELECTION W/ OWNER.
 - ALL NEW / RECONFIGURED BEDROOM CLOSETS TO RECEIVE PAINTED WOOD SHELF @ 64" AFF & HEAVY DUTY METAL ROD @ 60" AFF.
 - HARDWOOD FLOORING THROUGHOUT BEDROOM 3, BEDROOM 4, & 3RD FLOOR HALL & STAIR. PATCH @ RECONFIGURED LOCATIONS.
 - TILE FLOORING & BASE THROUGHOUT 3RD FLOOR BATHROOM.
 - PAINTED GWB WALLS & CEILINGS THROUGHOUT WORK AREA UNLESS OTHERWISE NOTED. PATCH @ RECONFIGURED LOCATIONS.
 - PAINTED WOOD DOOR TRIM, WINDOW TRIM, BASEBOARD, ETC. TO MATCH HOUSE TYPICAL UNLESS OTHERWISE NOTED. PATCH @ RECONFIGURED LOCATIONS.
 - RE-ROOF & RE-FLASH ALL ROOFS, NEW & EXISTING.
 - PROVIDE SOLID BLOCKING @ ALL WALL MOUNTED SHELVES, RODS, TOWEL BARS, FIXTURES, FITTINGS, ETC.
 - PROVIDE COAX AND/OR ETHERNET(MIN CAT6A, CONFIRM W/ OWNER) CABLING TO FUTURE 3RD FLOOR ROUTER / REPEATER LOCATION.
 - INSULATE ALL EXISTING EXTERIOR WALLS W/ BLOWN IN CELLULOSE, FILL ALL CAVITIES. BLOW IN FROM EXTERIOR IF HOUSE IS TO BE RE-SIDED.
 - ADD ALTERNATE: RE-SIDE ENTIRE HOUSE. ALL NEW SIDING & TRIM TO BE PAINTED FIBER CEMENT.
 - ADD ALTERNATE: PROVIDE ROOF MOUNTED SOLAR PANELS & ALL ASSOCIATED SYSTEM COMPONENTS.



1
A-100
PROPOSED BASEMENT PLAN
1/4" = 1'-0"

NEW FIRST FLOOR AIR HANDLER AS SPECIFIED BY APPROPRIATE ENGINEER / SUBCONTRACTOR; PROVIDE ELECTRIC AS REQUIRED @ NEW HVAC COMPONENTS (TYP); FIRST FLOOR TO BE FED BY BASEMENT CEILING DUCT RUNS

PATCH, PREP, & PAINT @ ALL LOCATIONS AFFECTED BY PROJECT CONSTRUCTION; PAINT FULL WALL / CEILING SURFACE

EXISTING WINDOWS TO REMAIN (TYP)

NEW LINTEL & STRUCTURAL POSTS; SEE STRUCTURAL DRAWINGS

INVESTIGATE CHASE / REMAINING SPACE DURING CHIMNEY REMOVAL FOR POTENTIAL RECONFIGURATION

PATCH, PREP, & PAINT @ ALL LOCATIONS AFFECTED BY PROJECT CONSTRUCTION; PAINT FULL WALL / CEILING SURFACE (TYP)

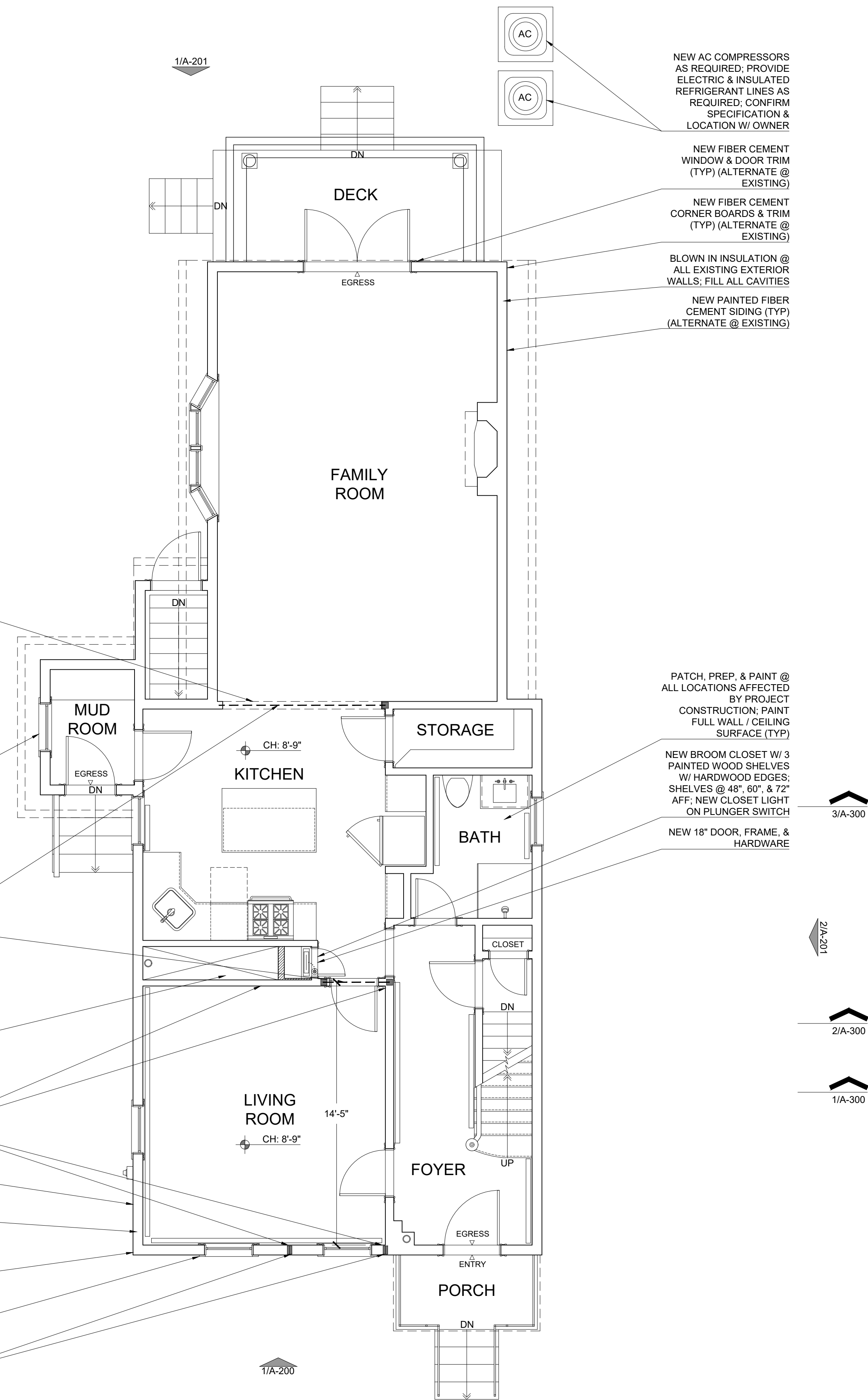
NEW PAINTED FIBER CEMENT SIDING (TYP) (ALTERNATE @ EXISTING)

BLOWN IN INSULATION @ ALL EXISTING EXTERIOR WALLS; FILL ALL CAVITIES

NEW FIBER CEMENT CORNER BOARDS & TRIM (TYP) (ALTERNATE @ EXISTING)

NEW FIBER CEMENT WINDOW & DOOR TRIM (TYP) (ALTERNATE @ EXISTING)

NEW STRUCTURAL POSTS; SEE STRUCTURAL DRAWINGS



PATCH, PREP, & PAINT @ ALL LOCATIONS AFFECTED BY PROJECT CONSTRUCTION; PAINT FULL WALL / CEILING SURFACE (TYP)

NEW BROOM CLOSET W/ 3 PAINTED WOOD SHELVES W/ HARDWOOD EDGES; SHELVES @ 48", 60", & 72" AFF; NEW CLOSET LIGHT ON PLUNGER SWITCH

NEW 18" DOOR, FRAME, & HARDWARE

NEW 18" DOOR, FRAME, & HARDWARE

NEW 18" DOOR, FRAME, & HARDWARE

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NEW 18" DOOR, FRAME, & HARDWARE

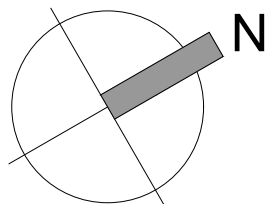
NEW 18" DOOR, FRAME, & HARDWARE

NEW 18" DOOR, FRAME, & HARDWARE

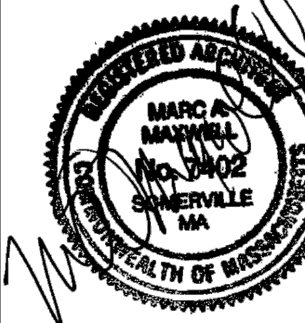
NEW 18" DOOR, FRAME, & HARDWARE

NEW 18" DOOR, FRAME, & HARDWARE

2
A-100
PROPOSED FIRST FLOOR PLAN
1/4" = 1'-0"



PROPOSED BASEMENT & FIRST FLOOR PLAN
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
SOMERVILLE, MASSACHUSETTS 02145



PROJECT NUMBER: 1828
DRAWING NUMBER:
A-100
SCALE: 1/4"=1'-0"
DATE: 07.19.2019

MAXWELL ARCHITECTS, LLC
PLANNING / PROGRAMMING / DESIGN
Architecture
Space Planning
Project Management
Facility Programming
20 Windsor Street
Somerville, Massachusetts 02144
(617) 866-8272
(617) 866-4557 FAX
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NOTE:

-PLUMBING, ELECTRICAL, MECHANICAL, & FIRE ALARM SYSTEMS TO BE DESIGN/BUILD BY CONTRACTOR. IF SHOWN, COMPONENTS OF THESE SYSTEMS ARE DIAGRAMMATIC ONLY. SEE DRAWINGS PROVIDED BY APPROPRIATE LICENSED ENGINEER.

-PROVIDE NEW WHOLE HOUSE AC SYSTEM. ZONE 1: FIRST FLOOR. ZONE 2: SECOND & THIRD FLOORS.

-CONFIRM SPECIFICATION OF ALL WINDOWS, DOORS, PLUMBING FIXTURES, LIGHT FIXTURES, & FINISHES W/ OWNER PRIOR TO PURCHASE.

-ALL NEW INTERIOR WOOD DOORS TO BE PAINTED 4-PANEL SOLID CORE; MATCH HISTORIC DOOR PANELING AS PRACTICAL. CONFIRM HARDWARE SELECTION W/ OWNER.

-ALL NEW / RECONFIGURED BEDROOM CLOSETS TO RECEIVE PAINTED WOOD SHELF @ 64" AFF & HEAVY DUTY METAL ROD @ 60" AFF.

-HARDWOOD FLOORING THROUGHOUT BEDROOM 3, BEDROOM 4, & 3RD FLOOR HALL & STAIR. PATCH @ RECONFIGURED LOCATIONS.

-TILE FLOORING & BASE THROUGHOUT 3RD FLOOR BATHROOM.

-PAINTED GWB WALLS & CEILINGS THROUGHOUT WORK AREA UNLESS OTHERWISE NOTED. PATCH @ RECONFIGURED LOCATIONS.

-PAINTED WOOD DOOR TRIM, WINDOW TRIM, BASEBOARD, ETC. TO MATCH HOUSE TYPICAL UNLESS OTHERWISE NOTED. PATCH @ RECONFIGURED LOCATIONS.

-RE-ROOF & RE-FLASH ALL ROOFS, NEW & EXISTING.

-PROVIDE SOLID BLOCKING @ ALL WALL MOUNTED SHELVES, RODS, TOWEL BARS, FIXTURES, FITTINGS, ETC.

-INSULATE ALL EXISTING EXTERIOR WALLS W/ BLOWN IN CELLULOSE, FILL ALL CAVITIES. BLOW IN FROM EXTERIOR IF HOUSE IS TO BE RE-SIDED.

-ADD ALTERNATE: RE-SIDE ENTIRE HOUSE. ALL NEW SIDING & TRIM TO BE PAINTED FIBER CEMENT.

-ADD ALTERNATE: PROVIDE ROOF MOUNTED SOLAR PANELS & ALL ASSOCIATED SYSTEM COMPONENTS.

NEW ASPHALT SHINGLES, SYNTHETIC UNDER-LAYMENT, & ICE & WATER SHIELD INSTALLED TO MANUFACTURERS RECOMMENDATIONS @ EXISTING ROOFS; PROVIDE ALL FLASHING, METAL DRIP EDGE, & WATERPROOFING AS REQUIRED (TYP)

PATCH, PREP, & PAINT @ ALL LOCATIONS AFFECTED BY PROJECT CONSTRUCTION; PAINT FULL WALL / CEILING SURFACE (TYP)

NEW PROGRAMMABLE THERMOSTAT

PROVIDE NEW AND/OR PATCH EXISTING HARDWOOD FLOORS IN RECONFIGURED AREAS (TYP)

NEW STRUCTURAL POST ALIGNED OVER FIRST FLOOR DOOR BELOW; SEE STRUCTURAL DRAWINGS (TYP)

PAINTED GWB PLUMBING SOFFIT IF REQUIRED; MINIMIZE SIZE AS PRACTICAL

NEW LINTEL ABOVE STAIR STAIR OPENING; SEE STRUCTURAL DRAWINGS

NEW WOOD STAIR W/ STAINED HARDWOOD TREADS & PAINTED RISERS; 7 3/4" MAX RISE & MIN 10" TREAD

PAINTED WOOD HANDRAIL @ 34-36" AFF

RELOCATED DOOR, FRAME, TRIM, & HARDWARE; NEW LINTEL ABOVE, SEE STRUCTURAL DRAWINGS

NEW VANITY, SINK, FAUCET, & GFI ELECTRIC OUTLET

REFURBISH EXISTING BATH TUB AS PRACTICAL

PULLOUT STORAGE CABINET @ EXISTING OPENING W/ NEW GFI ELECTRIC OUTLET

NEW STRUCTURAL POST; SEE STRUCTURAL DRAWINGS (TYP)

NEW HYDRONIC BASEBOARD RADIATOR; COORDINATE W/ EXISTING BOILER

NEW SEAMLESS ALUMINUM GUTTER ABOVE W/ DOWNSPOUTS @ EACH END

FUTURE DATA/NETWORK REPEATER LOCATION

NEW SECOND & THIRD FLOOR AIR HANDLER AS SPECIFIED BY APPROPRIATE ENGINEER / SUBCONTRACTOR; PROVIDE ELECTRIC AS REQUIRED @ NEW HVAC COMPONENTS (TYP)

RELOCATED VENT STACK AS REQUIRED

UNDERCUT PAIR DOOR AS REQUIRED BY HVAC

PAINTED WOOD GUARDRAIL (@ 36" AFF), NEWEL POST, & BALUSTERS

NEW WOOD STAIR W/ STAINED HARDWOOD TREADS & PAINTED RISERS; 7 3/4" MAX RISE & MIN 10" TREAD

PAINTED WOOD HANDRAIL @ 34-36" AFF

NEW VINYL DOUBLE HUNG WINDOWS; CENTER ON NEW STAIR

NEW FIBER CEMENT WINDOW TRIM (TYP)

NEW VINYL DOUBLE HUNG WINDOWS; CENTER ON NEW STAIR

NEW FIBER CEMENT WINDOW TRIM (TYP)

NEW VINYL DOUBLE HUNG WINDOWS; CENTER ON NEW STAIR

NEW FIBER CEMENT WINDOW TRIM (TYP)

NEW VINYL DOUBLE HUNG WINDOWS; CENTER ON NEW STAIR

NEW FIBER CEMENT WINDOW TRIM (TYP)

NEW VINYL DOUBLE HUNG WINDOWS; CENTER ON NEW STAIR

NEW FIBER CEMENT WINDOW TRIM (TYP)

NEW VINYL CASEMENT EGRESS WINDOW; 44" AFF MAX INTERIOR SILL HEIGHT, MIN 20" OPENING WIDTH, MIN 24" OPENING HEIGHT, MIN 5.7 SF OPENING (2 PER BEDROOM)

5' HEAD HEIGHT

NEW SEAMLESS ALUMINUM GUTTER ABOVE W/ DOWNSPOUTS @ EACH END

NEW STRUCTURAL POST; SEE STRUCTURAL DRAWINGS (TYP)

CONFIRM STAIR END WALL PROVIDES MIN 6'-8" HEAD HEIGHT @ STAIR BELOW

OFFSET NEW DORMER WALL ±1" OVER EXISTING WALL BELOW TO PROVIDE 3'-0" MIN. SETBACK FROM PROPERTY LINE

PAD OUT WALL AS REQUIRED TO PROVIDE FULL INSULATION R-VALUE BEHIND WALL HUNG TOILET IN-WALL TANK & CARRIAGE SYSTEM & ADJACENT RECESSED SHOWER SHELF

NEW 30"x48" CURB MOUNTED OPERABLE SKYLIGHT ABOVE; SCREEN; INTEGRATED MANUAL BLINDS

BUILT-IN PAINTED WOOD DRAWERS; MAXIMIZE DEPTH AS PRACTICAL

5' HEAD HEIGHT

NEW VINYL CASEMENT EGRESS WINDOW; 44" AFF MAX INTERIOR SILL HEIGHT, MIN 20" OPENING WIDTH, MIN 24" OPENING HEIGHT, MIN 5.7 SF OPENING (2 PER BEDROOM)

PROPOSED SECOND FLOOR PLAN

1
A-101

1/4" = 1'-0"

PROPOSED THIRD FLOOR PLAN

2
A-101

1/4" = 1'-0"

PROPOSED SECOND & THIRD FLOOR PLAN
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
SOMERVILLE, MASSACHUSETTS 02145



PROJECT NUMBER: 1828
DRAWING NUMBER:

A-101

SCALE: 1/4"=1'-0"
DATE: 07.19.2019

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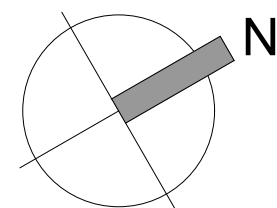
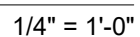
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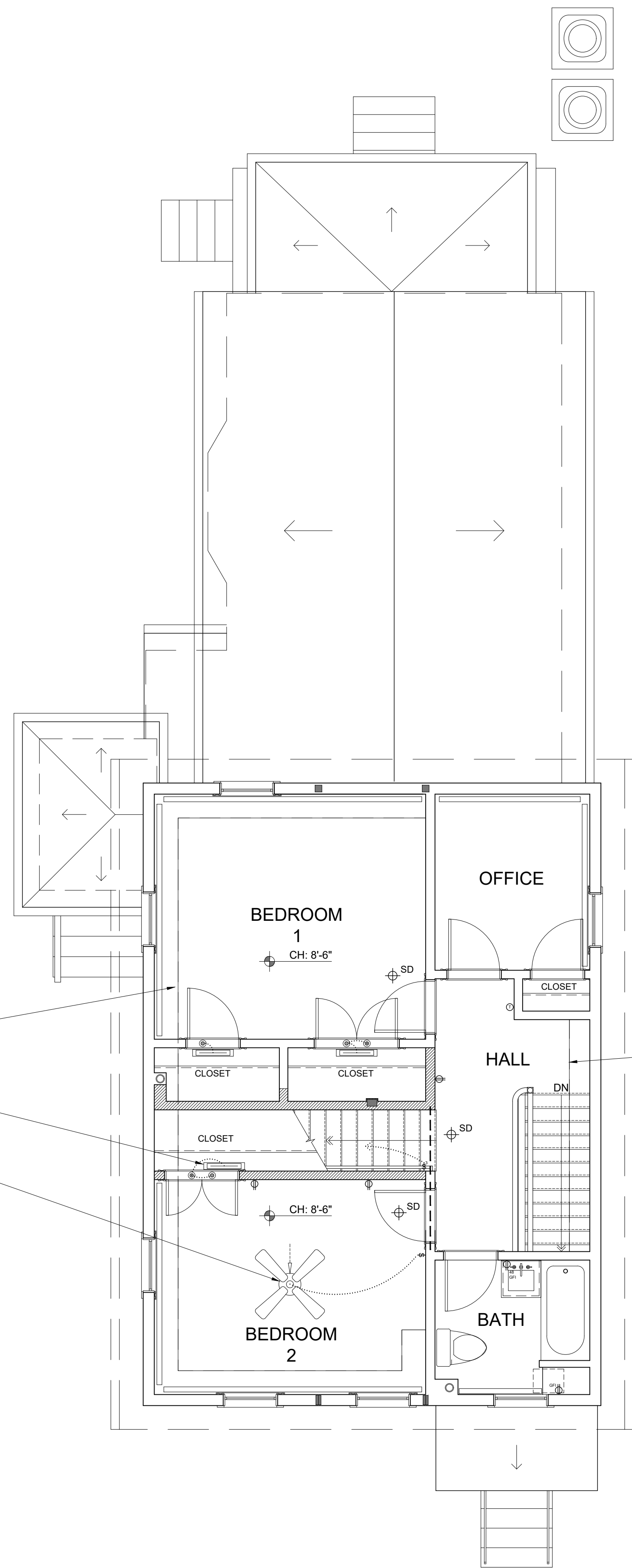
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-TILE FLOORING & BASE THROUGHOUT
3RD FLOOR BATHROOM.

-ADD ALTERNATE: PROVIDE ROOF MOUNTED SOLAR PANELS & ALL ASSOCIATED SYSTEM COMPONENTS.

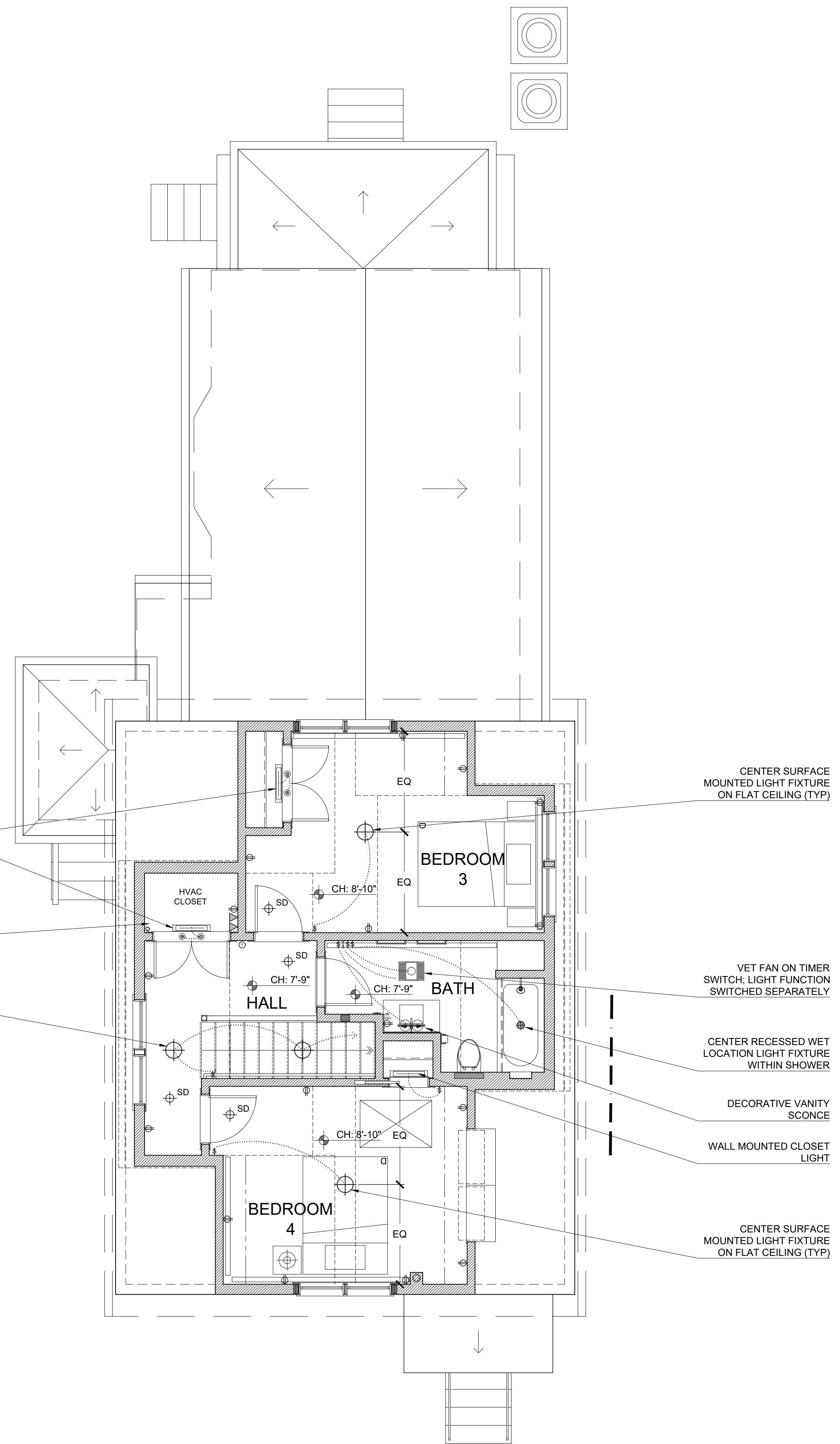


SCALE: 1/4"=1'-0"
DATE: 07.19.2019



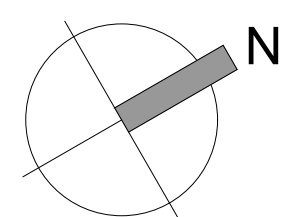
1
A-110

PROPOSED SECOND FLOOR RC PLAN
1/4" = 1'-0"

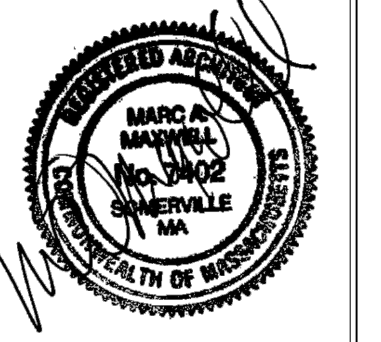


2
A-110

PROPOSED THIRD FLOOR RC PLAN
1/4" = 1'-0"



PROPOSED SECOND & THIRD FLOOR RC PLAN
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
SOMERVILLE, MASSACHUSETTS 02145



NEW DORMERS:
-UN-VENTED MEMBRANE
ROOF
-PAINTED FIBER CEMENT
SIDING
-PAINTED FIBER CEMENT
TRIM, SOFFIT, EAVES, ETC.
-VINYL WINDOWS
-CLOSED CELL SPRAY
FOAM INSULATION
-R-49 @ ROOF
-R-20 @ WALLS
-SEAMLESS ALUMINUM
GUTTER & DOWNSPOUTS
-FLASH / WATERPROOF AS
REQUIRED

NEW 30"x46" CURB
MOUNTED OPERABLE
SKYLIGHT; SCREEN &
INTEGRATED MANUAL
BLINDS

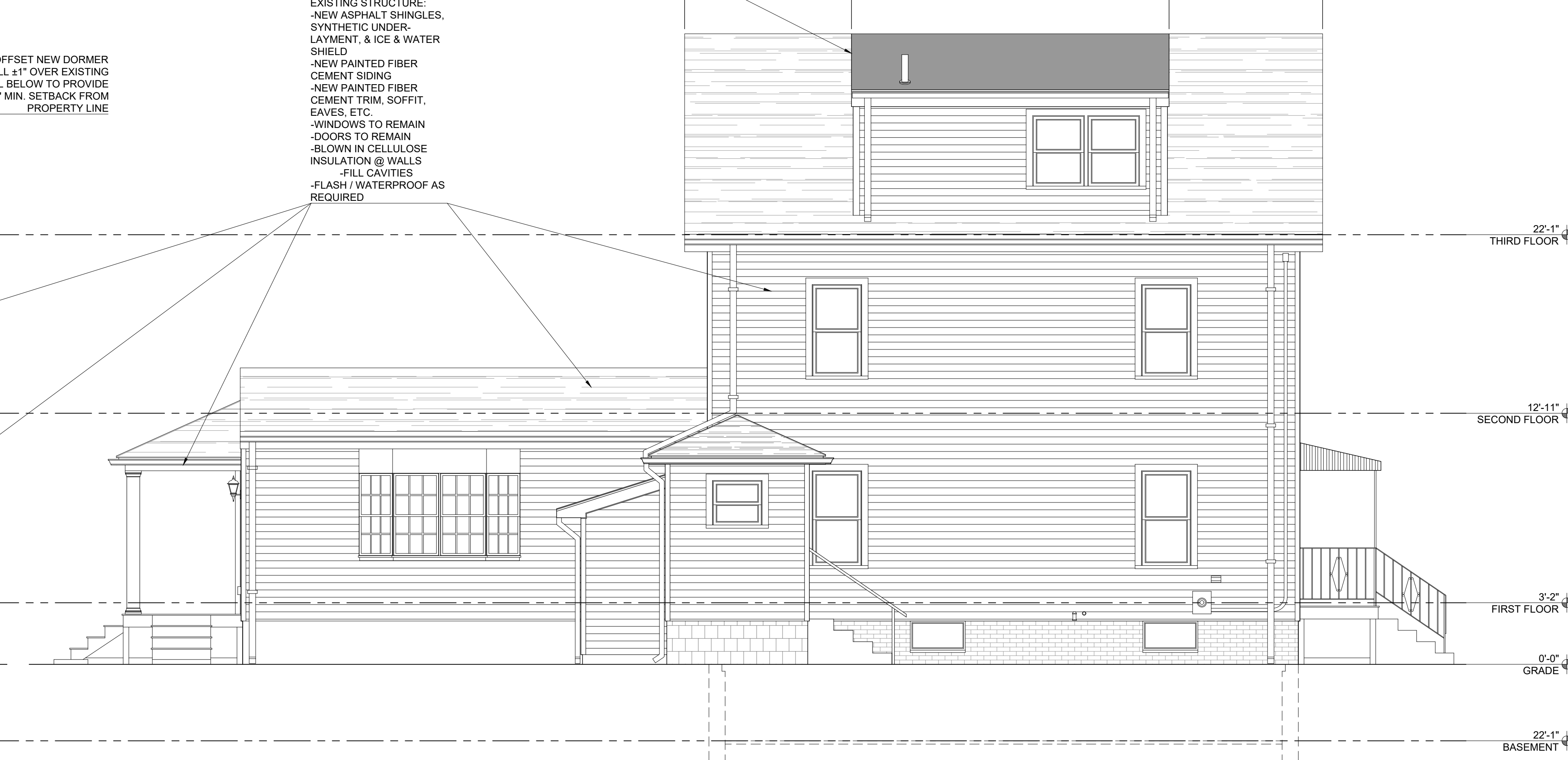
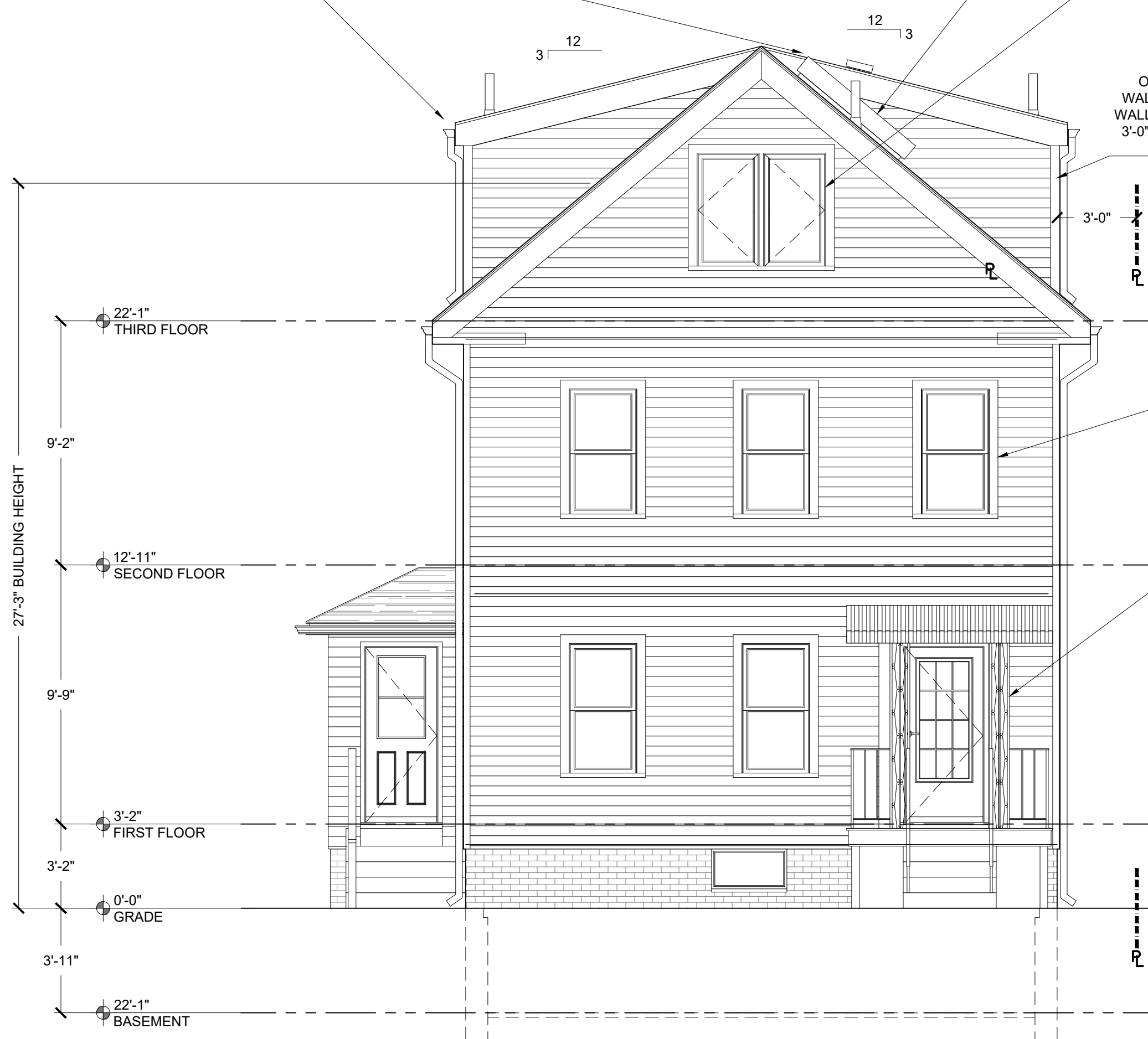
NEW VINYL CASEMENT
EGRESS WINDOW; 44" AFF
MAX INTERIOR SILL
HEIGHT; MIN 20" OPENING
WIDTH; MIN 24" OPENING
HEIGHT; MIN 5.7 SF
OPENING (2 PER
BEDROOM)

OFFSET NEW DORMER
WALL ±1" OVER EXISTING
WALL BELOW TO PROVIDE
3'-0" MIN. SETBACK FROM
PROPERTY LINE

EXISTING STRUCTURE:
-NEW ASPHALT SHINGLES,
SYNTHETIC UNDER-
LAYMENT, & ICE & WATER
SHIELD
-NEW PAINTED FIBER
CEMENT SIDING
-NEW PAINTED FIBER
CEMENT TRIM, SOFFIT,
EAVES, ETC.
-WINDOWS TO REMAIN
-DOORS TO REMAIN
-BLOWN IN CELLULOSE
INSULATION @ WALLS
-FILL CAVITIES
-FLASH / WATERPROOF AS
REQUIRED

NEW DORMERS:
-UN-VENTED MEMBRANE
ROOF
-PAINTED FIBER CEMENT
SIDING
-PAINTED FIBER CEMENT
TRIM, SOFFIT, EAVES, ETC.
-VINYL WINDOWS
-CLOSED CELL SPRAY
FOAM INSULATION
-R-49 @ ROOF
-R-20 @ WALLS
-SEAMLESS ALUMINUM
GUTTER & DOWNSPOUTS
-FLASH / WATERPROOF AS
REQUIRED

32'-10" EXISTING 2 STORY RIDGE LENGTH
8'-7"±
16'-4" DORMER LENGTH
7'-11"±



1
A-200

FRONT ELEVATION

1/4" = 1'-0"

2
A-200

SIDE ELEVATION

1/4" = 1'-0"

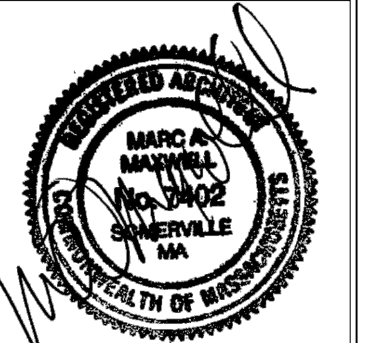
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PROPOSED ELEVATIONS
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
SOMERVILLE, MASSACHUSETTS 02145



PROJECT NUMBER: 1828
DRAWING NUMBER:

A-200

SCALE: 1/4"=1'-0"
DATE: 07.19.2019

NEW DORMERS:
-UN-VENTED MEMBRANE
ROOF
-PAINTED FIBER CEMENT
SIDING
-PAINTED FIBER CEMENT
TRIM, SOFFIT, EAVES, ETC.
-VINYL WINDOWS
-CLOSED CELL SPRAY
FOAM INSULATION
-R-49 @ ROOF
-R-20 @ WALLS
-SEAMLESS ALUMINUM
GUTTER & DOWNSPOUTS
-FLASH / WATERPROOF AS
REQUIRED

NEW VINYL CASEMENT
EGRESS WINDOW, 44" AFF
MAX INTERIOR SILL
HEIGHT, MIN 20" OPENING
WIDTH, MIN 24" OPENING
HEIGHT, MIN 5.7 SF
OPENING (2 PER
BEDROOM)

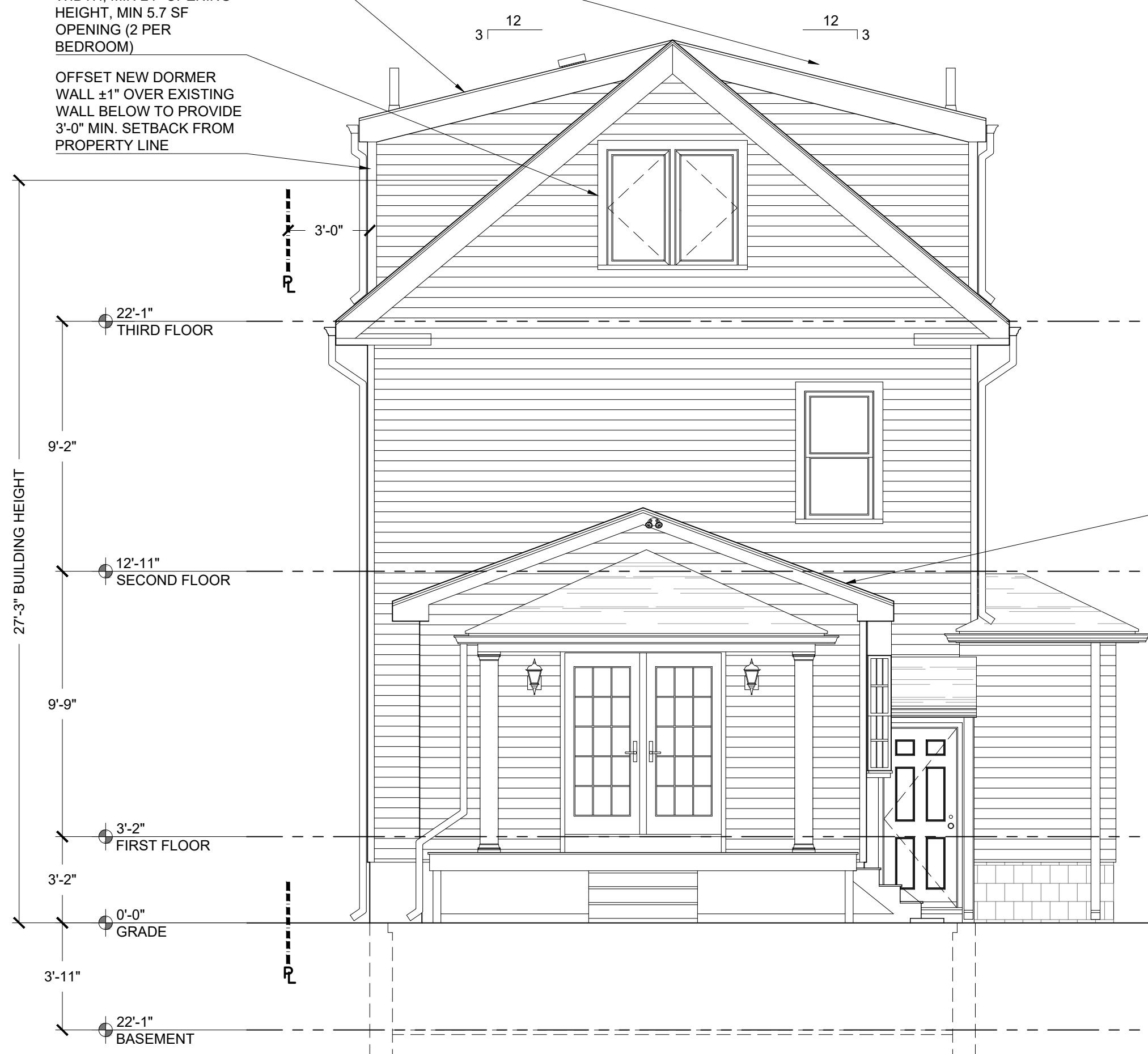
OFFSET NEW DORMER
WALL ±1" OVER EXISTING
WALL BELOW TO PROVIDE
3'-0" MIN. SETBACK FROM
PROPERTY LINE

NEW 30"x46" CURB
MOUNTED OPERABLE
SKYLIGHT; SCREEN &
INTEGRATED MANUAL
BLINDS

EXISTING VENT STACK TO
REMAIN

NEW DORMERS:
-UN-VENTED MEMBRANE
ROOF
-PAINTED FIBER CEMENT
SIDING
-PAINTED FIBER CEMENT
TRIM, SOFFIT, EAVES, ETC.
-VINYL WINDOWS
-CLOSED CELL SPRAY
FOAM INSULATION
-R-49 @ ROOF
-R-20 @ WALLS
-SEAMLESS ALUMINUM
GUTTER & DOWNSPOUTS
-FLASH / WATERPROOF AS
REQUIRED

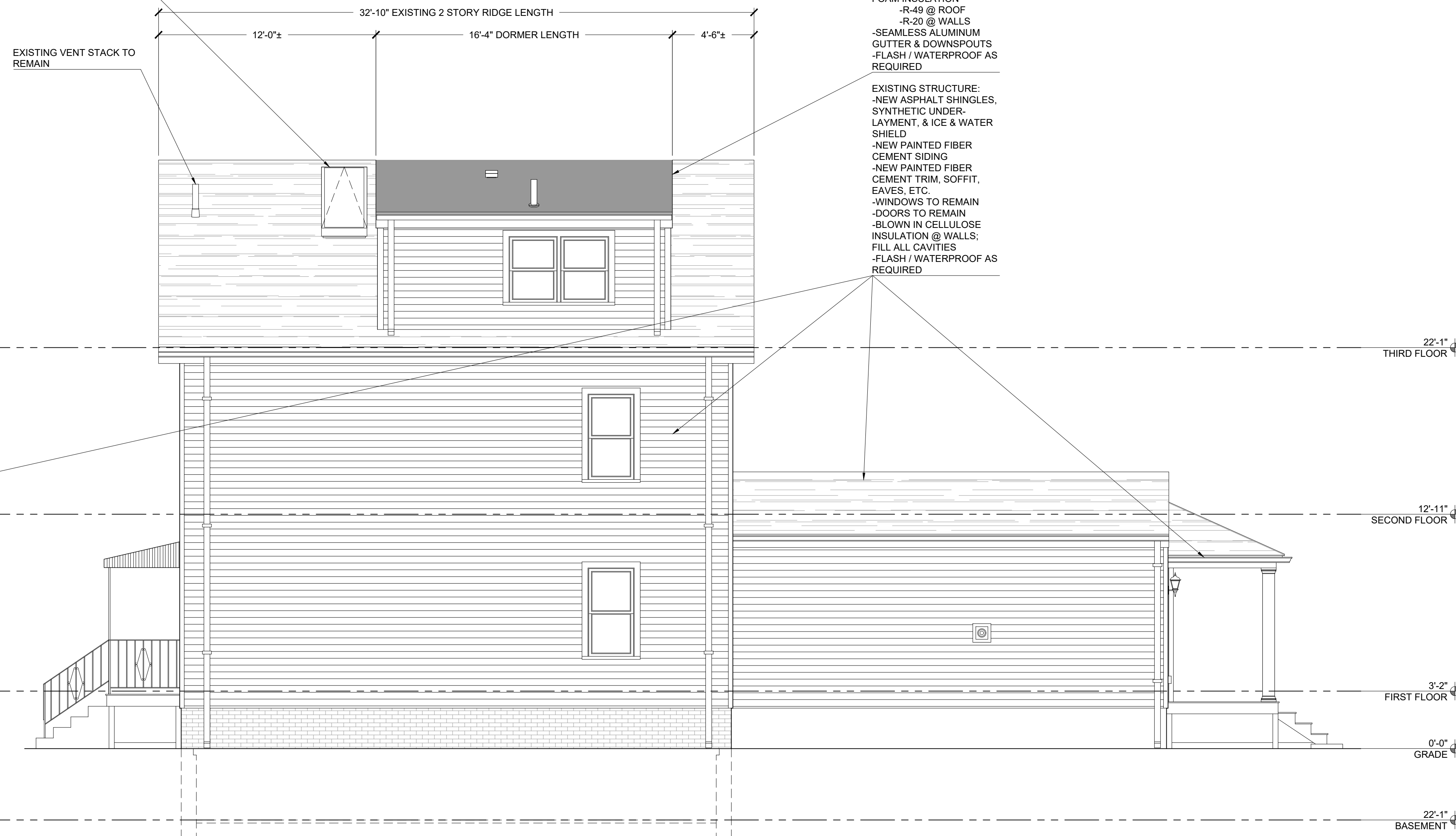
EXISTING STRUCTURE:
-NEW ASPHALT SHINGLES,
SYNTHETIC UNDER-
LAYMENT, & ICE & WATER
SHIELD
-NEW PAINTED FIBER
CEMENT SIDING
-NEW PAINTED FIBER
CEMENT TRIM, SOFFIT,
EAVES, ETC.
-WINDOWS TO REMAIN
-DOORS TO REMAIN
-BLOWN IN CELLULOSE
INSULATION @ WALLS;
FILL ALL CAVITIES
-FLASH / WATERPROOF AS
REQUIRED



1
A-201

REAR ELEVATION

1/4" = 1'-0"

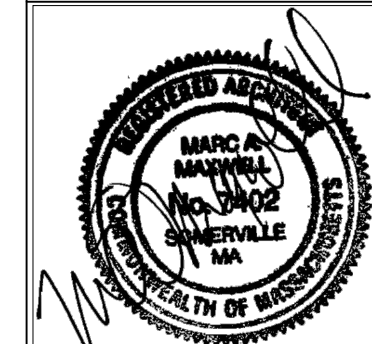


2
A-201

SIDE ELEVATION

1/4" = 1'-0"

PROPOSED ELEVATIONS
PROPOSED RENOVATION & DORMER ADDITION
298 LOWELL STREET
SOMERVILLE, MASSACHUSETTS 02145

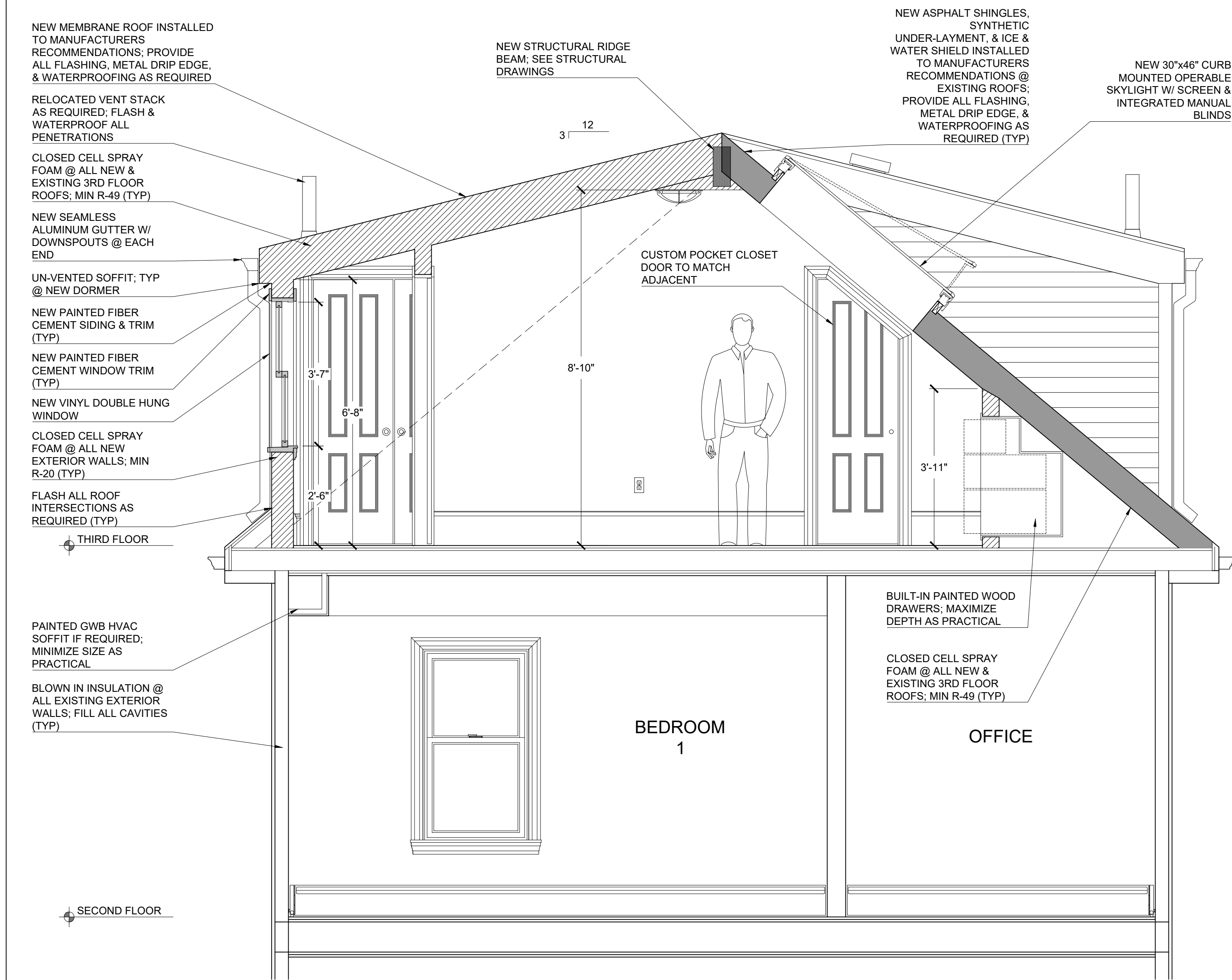


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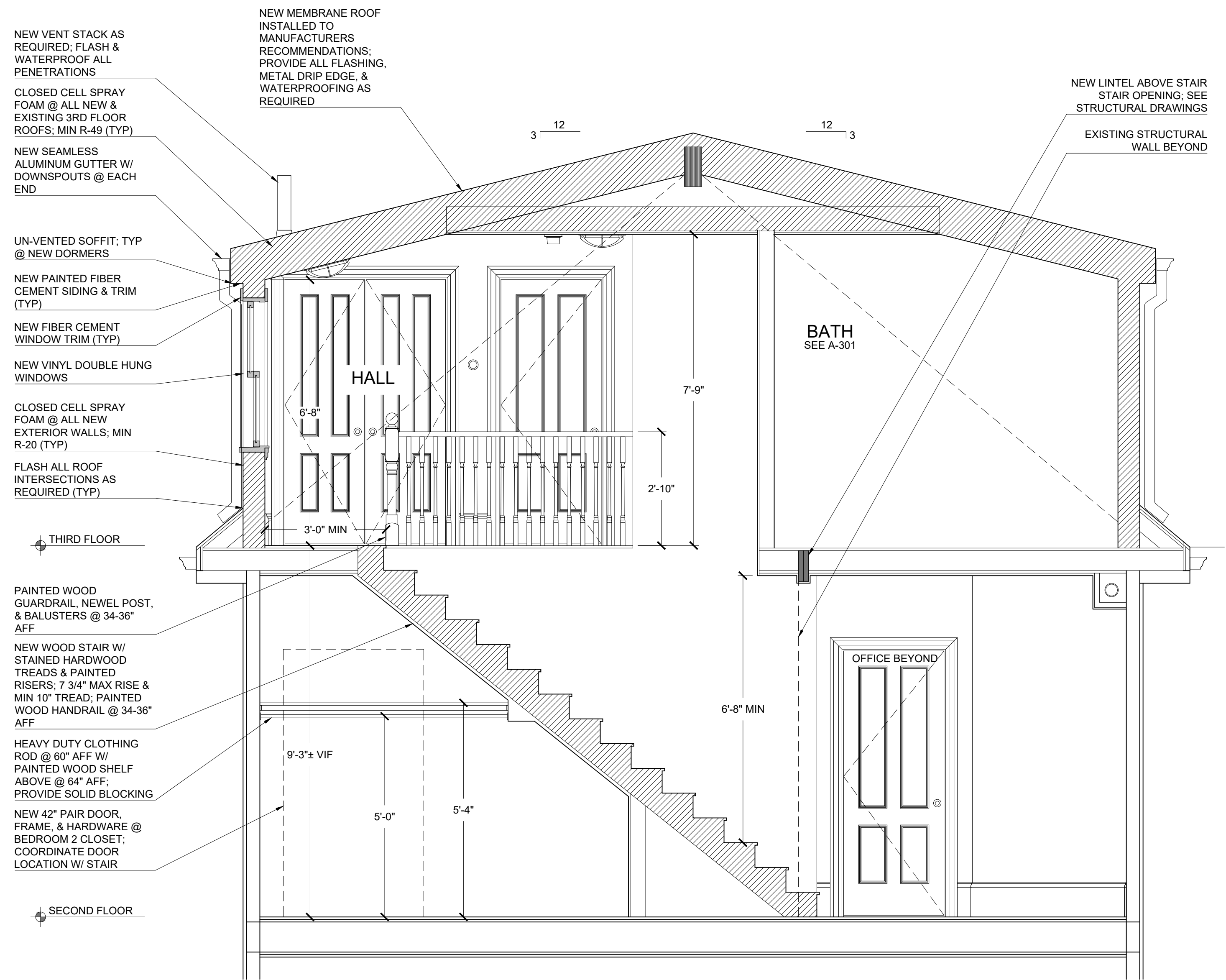
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SCALE: 1/4"=1'-0"
DATE: 07.19.2019

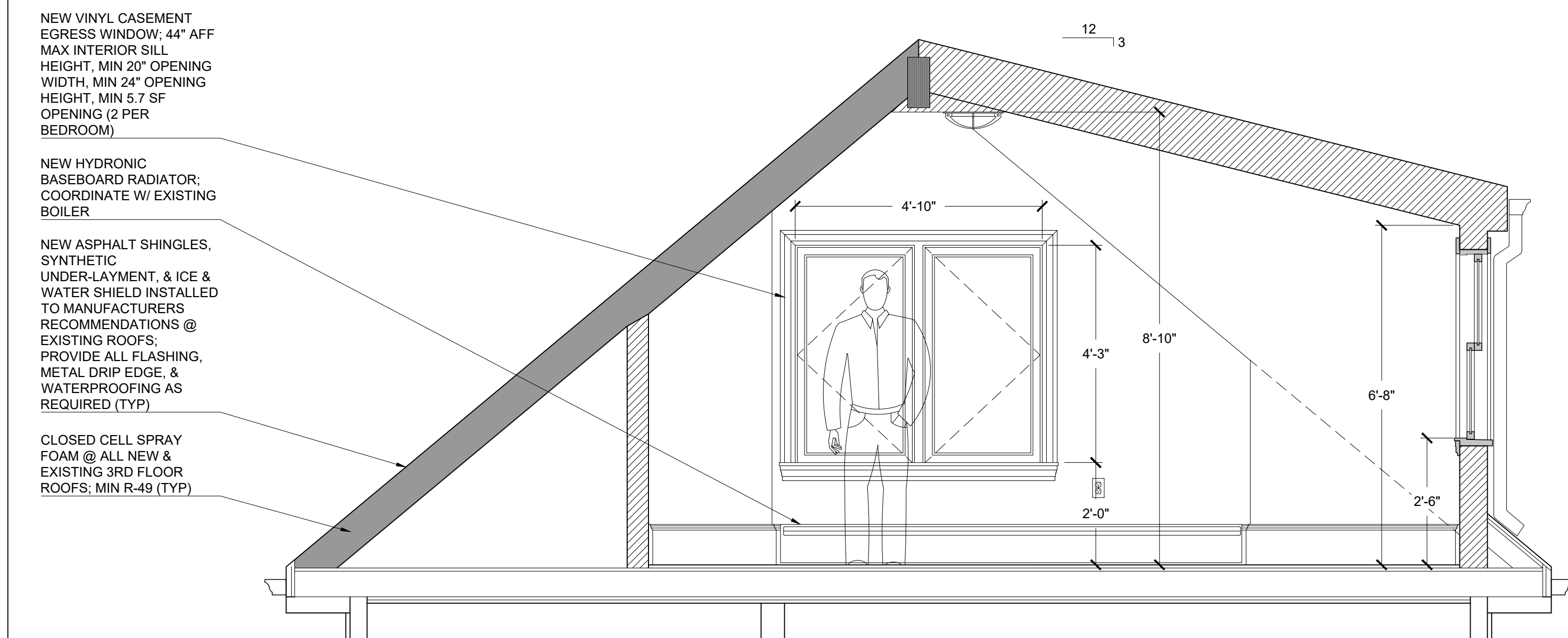
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1
A-300
SECTION
1/2" = 1'-0"



2
A-300
SECTION
1/2" = 1'-0"



3
A-300
SECTION
1/2" = 1'-0"

